

Point Wells Development Short Plat

BSRE Point Wells, LP

Preliminary Short Plat Project Description

PFN 11-101007 SP

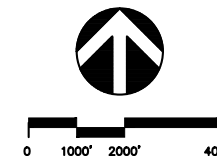
Revised April 11, 2018

The purpose of this revised short plat application is to establish two legal lots to serve as the basis for Phase 1 and Phase 2 construction. It also is intended to serve the following additional purposes:

- To create a third lot (Lot 3) for future development.
- To create a separate tract to envelope the tidelands.
- To create a separate tract to envelope the beach restoration area between the shoreline and the westerly margin of Lot 1. This area is an element of the critical area mitigation plan for the project, and is to be designated as a Critical Area Protection Area (CAPA).
- The establishment of legal lots will align future lending and development agreements with other agencies (e.g. utility purveyors, BNSF) for project funding with specific parcels.

At the time of construction permit applications for individual lots, binding site plans or formal subdivisions might be submitted to further subdivide parcels in order to scale the extent of phased development with current market conditions. Future subdivisions will include appropriate provisions for easements to include:

- Utility easements
- Ingress and egress easements
- Public access easements



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A PORTION OF THE SW 1/4 OF SECTION 35, T 27 N, R 3 E, WM

PROJECT LEGAL DESCRIPTION

PARCEL A
ALL THAT PORTION OF GOVERNMENT LOT 3, LYING WESTERLY OF THE WESTERLY RIGHT OF WAY MARGIN OF THAT CERTAIN STRIP OF LAND CONVEYED
TO SEATTLE AND MONTANA RAILWAY COMPANY (NOW KNOWN AS BURLINGTON NORTHERN, INC., A DELAWARE CORPORATION) BY DEED RECORDED UNDER AUDITOR'S FILE NUMBER 6220 AND OF TIDE LAND LOT 3, ACCORDING TO THE MAP OF FILE IN OLYMPIA, WASHINGTON, ENTITLED "PLAT OF TIDE LANDS OF THE FIRST CLASS AT THE TOWN OF EDMONDS", SECTION 35, TOWNSHIP 27 NORTH, RANGE 3 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON, LYING WESTERLY OF THE LINE DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT ON THE WESTERLY LINE OF THAT CERTAIN STRIP OF LAND CONVEYED TO SEATTLE AND MONTANA RAILWAY COMPANY NOW KNOWN AS BURLINGTON NORTHERN, INC., A DELAWARE CORPORATION BY DEED RECORDED UNDER AUDITOR'S FILE NUMBER 6220, A DISTANCE OF 1708.20 FEET NORTH OF THE SOUTH BOUNDARY OF SAID SECTION 35 AS PRODUCED FROM THE SOUTHEAST CORNER OF SAID SECTION THROUGH THE SOUTH QUARTER CORNER OF THE SOUTH LINE OF SAID SECTION;
THENCE SOUTH 22°54'45" WEST ALONG SAID WESTERLY LINE OF SAID RIGHT OF WAY A DISTANCE OF 272.27 FEET TO THE TRUE POINT OF BEGINNING OF THE LINE HEREIN DESCRIBED;
THENCE NORTH 76°34'18" WEST 657.50 FEET;
THENCE SOUTH 00°12'17" WEST, 193.15 FEET;
THENCE NORTH 87°02'52" WEST, 381.34 FEET;
THENCE NORTH 75°41'33" WEST TO WEST LINE OF SAID TIDELAND LOT 3 AND THE TERMINUS OF THE LINE HEREIN DESCRIBED.

PARCEL D
THAT CERTAIN PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER AND OF GOVERNMENT LOTS 3 AND 4, SECTION 35, TOWNSHIP 27 NORTH, RANGE 3 EAST, W.M., AND OF LOTS 3 AND 4, EDMONDS TIDE LANDS, ACCORDING TO THE MAP ON FILE IN OLYMPIA, WASHINGTON ENTITLED "PLAT OF TIDE LANDS OF THE FIRST CLASS AT THE TOWN OF EDMONDS", DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE WEST LINE OF THAT CERTAIN STRIP OF LAND CONVEYED TO SEATTLE AND MONTANA RAILWAY COMPANY NOW KNOWN AS BURLINGTON NORTHERN, INC., A DELAWARE CORPORATION BY DEED RECORDED UNDER AUDITOR'S FILE NUMBER 5277 WHICH IS 748 FEET NORTH OF SOUTH LINE OF SAID SECTION, SAID POINT HAVING BEEN LOCATED BY GARDNER, GARDNER AND FISCHER, INC., CIVIL ENGINEERS, AS BEARING NORTH 0°02'59" EAST ALONG THE NORTH AND SOUTH QUARTER SECTION LINE, 748.00 FEET AND NORTH 89°30'46" WEST, PARALLEL TO THE SOUTH LINE OF SAID SECTION 1381.93 FEET FROM THE QUARTER SECTION CORNER IN THE SOUTH LINE OF SAID SECTION;
THENCE SOUTHERLY ALONG SAID WESTERLY LINE OF SAID BURLINGTON NORTHERN RAILWAY RIGHT OF WAY 200 FEET, TO A POINT WHICH IS 560.46 FEET NORTH AND 1393.68 FEET WEST OF SAID QUARTER SECTION CORNER;
THENCE NORTH 89°30'46" WEST PARALLEL WITH THE SOUTH LINE OF SAID SECTION 695.97 FEET TO THE GOVERNMENT MEANDER LINE OF PUGET SOUND, SAID MEANDER LINE BEING THE EASTERLY LINE OF SAID LOT 4 SAID EDMONDS TIDE LANDS;
THENCE NORTH 46°58'20" WEST ALONG SAID MEANDER LINE 147.44 FEET;
THENCE NORTH 89°30'46" WEST 163.21 FEET TO THE WESTERLY LINE OF SAID LOT 4, EDMONDS TIDE LANDS;
THENCE NORTH 41°11'16" WEST ALONG SAID WESTERLY LINE, 86.16 FEET TO AN ANGLE POINT IN SAID LINE;
THENCE NORTH 11°48'43" EAST ALONG SAID WESTERLY LINE OF LOT 4, AND ALONG THE WESTERLY LINE OF LOT 3 OF SAID EDMONDS TIDE LANDS, 990.54 FEET TO AN ANGLE POINT IN SAID LINE;
THENCE NORTHEASTERLY ALONG THE SAID WESTERLY LINE OF SAID LOT 3, EDMONDS TIDE LANDS, 359.62 FEET, MORE OR LESS, TO THE MOST WESTERLY CORNER OF THE J.C. VAN ECK TRACT, AS ESTABLISHED BY DECREE ENTERED IN SNOHOMISH COUNTY TITLE REGISTRATION CAUSE NO. 5, ENTITLED J.C. VAN ECK, PLAINTIFF VS. DANIEL HINES (ET AL) DEFENDANTS;
THENCE SOUTH 87°05'15" EAST ALONG THE SOUTHWESTERLY LINE OF THE SAID VAN ECK TRACT, AS ESTABLISHED IN SAID CAUSE NO. 5, 986.73 FEET, TO A POINT IN THE SAID WESTERLY LINE OF SAID SEATTLE AND MONTANA RAILWAY COMPANY'S RIGHT OF WAY;
THENCE SOUTHWESTERLY ALONG THE SAID WESTERLY RIGHT OF WAY LINE TO THE POINT OF BEGINNING;
TOGETHER WITH TIDELANDS OF THE SECOND CLASS SITUATE IN FRONT OF, ADJACENT TO, OR ABUTTING UPON THE ABOVE DESCRIBED PORTION OF GOVERNMENT LOT 4, AS CONVEYED BY THE STATE OF WASHINGTON BY DEED RECORDED UNDER AUDITOR'S FILE NUMBER 758480;
EXCEPT THAT PORTION OF GOVERNMENT LOT 3 AND THE SAID TIDE LAND LOT 3, LYING NORTHERLY OF A LINE DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT ON THE WESTERLY RIGHT OF WAY LINE OF THE BURLINGTON NORTHERN RAILROAD DISTANT 1708.2 FEET NORTH OF THE SOUTH BOUNDARY OF SAID SECTION 35 AS PRODUCED FROM THE SOUTHEAST CORNER OF SAID SECTION THROUGH THE SOUTH QUARTER CORNER ON THE SOUTH LINE OF SAID SECTION;
THENCE SOUTH 22°54'45" WEST ALONG THE WESTERLY RIGHT OF WAY LINE 272.27 FEET TO THE TRUE POINT OF BEGINNING OF THE LINE HEREIN DESCRIBED;
THENCE NORTH 76°34'18" WEST 657.50 FEET;
THENCE SOUTH 0°12'17" WEST, 193.15 FEET;
THENCE NORTH 87°02'52" WEST, 381.34 FEET;
THENCE NORTH 75°41'33" WEST TO WEST LINE OF SAID TIDELAND LOT 3 AND THE TERMINUS OF THE LINE HEREIN DESCRIBED.

PARCEL E
PARCEL 2 OF SNOHOMISH COUNTY BOUNDARY LINE ADJUSTMENT RECORDED UNDER AUDITOR'S FILE NUMBER 200405180215, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER AND OF GOVERNMENT LOT 4 AND OF VACATED HEBERLEIN ROAD, ACCORDING TO VOLUME 44 OF COMMISSIONER'S RECORDS, PAGE 44 AND OF A PORTION OF LOT 4, EDMONDS TIDE LANDS, ACCORDING TO THE MAP ON FILE IN OLYMPIA, WASHINGTON, ENTITLED "PLAT OF TIDE LANDS OF THE FIRST CLASS AT THE TOWN OF EDMONDS", ALL IN SECTION 35, TOWNSHIP 27 NORTH, RANGE 3 EAST, W.M., SAID PARCEL MORE PARTICULARLY DESCRIBED AS FOLLOWS: (THE BEARINGS OF THIS PARCEL DESCRIPTION ARE BASED ON THE WASHINGTON COORDINATE SYSTEM, NORTH ZONE, NAD 83-91)
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 35;
THENCE NORTH 01°11'56" EAST ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION A DISTANCE OF 991.97 FEET (60 RODS BY DEED);
THENCE NORTH 88°33'35" WEST A DISTANCE OF 943.19 FEET TO THE POINT OF BEGINNING OF THIS PARCEL DESCRIPTION;
THENCE SOUTH 01°11'56" WEST A DISTANCE OF 455.24 FEET;
THENCE SOUTH 88°33'35" EAST A DISTANCE OF 422.92 FEET;
THENCE SOUTH 01°11'56" WEST A DISTANCE OF 20.00 FEET;
THENCE SOUTH 88°33'35" EAST A DISTANCE OF 490.27 FEET TO THE WEST MARGIN OF 116TH AVENUE SW;
THENCE SOUTH 01°11'56" WEST ALONG SAID MARGIN A DISTANCE OF 34.70 FEET;
THENCE NORTH 88°33'35" WEST A DISTANCE OF 616.67 FEET;
THENCE NORTH 01°11'56" EAST A DISTANCE OF 34.70 FEET;
THENCE NORTH 88°33'35" WEST A DISTANCE OF 453.60 FEET;
THENCE SOUTH 01°11'56" WEST A DISTANCE OF 259.23 FEET;
THENCE NORTH 88°33'35" WEST A DISTANCE OF 153.56 FEET, MORE OR LESS, TO THE EASTERLY RIGHT OF WAY LINE OF THE SEATTLE AND MONTANA RAILWAY COMPANY, NOW KNOWN AS THE BURLINGTON NORTHERN SANTA FE RAILWAY AND A POINT HEREINAFTER KNOWN AS POINT "A";
THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE THE FOLLOWING COURSES AND DISTANCES:
NORTH 05°29'24" WEST A DISTANCE OF 153.31 FEET TO THE BEGINNING OF A 1382.70 FOOT RADIUS TANGENT CURVE TO THE RIGHT;
THENCE NORTH 01°36'06" WEST A DISTANCE OF 65.00 FEET TO THE BEGINNING OF A 1382.70 FOOT RADIUS TANGENT CURVE TO THE RIGHT;
THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 21°46'17" AN ARC DISTANCE OF 525.40 FEET;
THENCE NORTH 88°33'35" WEST A DISTANCE OF 1.50 FEET;
THENCE NORTH 24°02'46" EAST A DISTANCE OF 265.00 FEET;
THENCE SOUTH 31°23'34" EAST A DISTANCE OF 291.15 FEET TO THE POINT OF BEGINNING;
TOGETHER WITH A PARCEL LYING WESTERLY OF SAID RAILWAY AND COMMENCING AT AFORESAID POINT "A";
THENCE NORTH 88°33'35" WEST A DISTANCE OF 107.79 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAID RAILWAY AND THE POINT OF BEGINNING;
THENCE CONTINUING NORTH 88°33'35" WEST A DISTANCE OF 414.54 FEET, MORE OR LESS, TO THE GOVERNMENT MEANDER LINE;
THENCE SOUTH 45°57'35" EAST ALONG SAID LINE A DISTANCE OF 14.77 FEET;
THENCE NORTH 88°33'35" WEST A DISTANCE OF 240.88 FEET TO THE WESTERLY LINE OF SAID LOT 4 OF EDMONDS TIDE LANDS;
THENCE NORTH 40°07'35" WEST ALONG SAID LINE A DISTANCE OF 551.68 FEET;
THENCE SOUTH 88°33'35" EAST A DISTANCE OF 158.05 FEET TO SAID MEANDER LINE;
THENCE SOUTH 45°57'35" EAST ALONG SAID LINE A DISTANCE OF 147.44 FEET;
THENCE SOUTH 88°33'35" EAST A DISTANCE OF 710.85 FEET, MORE OR LESS, TO SAID WESTERLY RIGHT OF WAY LINE AND THE BEGINNING OF A 1004.93 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT;
THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04°52'56" AN ARC DISTANCE OF 88.63 FEET;
THENCE SOUTH 05°29'24" EAST A DISTANCE OF 219.22 FEET TO SAID POINT "A" AND THE POINT OF BEGINNING.

EXCEPT THAT PORTION OF SAID PARCEL E LYING WITH THE TOWN OF WOODWAY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 35,
THENCE NORTH 01°11'56" EAST ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION A DISTANCE OF 482.03 FEET;
THENCE NORTH 88°33'35" WEST A DISTANCE OF 30.00 FEET TO THE EAST MARGIN OF 116TH STREET S.W., AND THE TRUE POINT OF BEGINNING;
THENCE CONTINUING NORTH 88°33'35" WEST A DISTANCE OF 616.67 FEET;
THENCE NORTH 01°11'56" EAST A DISTANCE OF 34.70 FEET;
THENCE NORTH 88°33'35" WEST A DISTANCE OF 453.60 FEET TO A POINT ON THE TOWN LIMIT LINE OF THE TOWN OF WOODWAY, SAID POINT TO BE HEREINAFTER REFERRED TO AS POINT "B";
THENCE NORTH 01°11'56" EAST ALONG SAID TOWN LIMITS A DISTANCE OF 20.00 FEET;
THENCE SOUTH 88°33'35" EAST ALONG SAID TOWN LIMIT LINE A DISTANCE OF 580.00 FEET;
THENCE SOUTH 01°11'56" WEST A DISTANCE OF 20.00 FEET;
THENCE SOUTH 88°33'35" EAST A DISTANCE OF 490.27 FEET TO A POINT ON THE WEST MARGIN OF SAID 116TH STREET S.W.;
THENCE SOUTH 01°11'56" WEST ALONG SAID WEST MARGIN A DISTANCE OF 34.70 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH THAT PORTION OF SAID PARCEL E LYING WITH THE TOWN OF WOODWAY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE HEREINBEFORE REFERENCED POINT "B";
THENCE SOUTH 01°11'56" WEST ALONG SAID TOWN LIMIT LINE A DISTANCE OF 234.23 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUING SOUTH 01°11'56" WEST A DISTANCE OF 26.00 FEET;
THENCE NORTH 88°33'35" WEST A DISTANCE OF 83.56 FEET TO A POINT ON THE TOWN LIMIT LINE OF THE TOWN OF WOODWAY;
THENCE NORTH 05°29'24" WEST ALONG SAID TOWN LIMITS A DISTANCE OF 25.18 FEET;
THENCE SOUTH 88°33'35" EAST ALONG SAID TOWN LIMIT LINE A DISTANCE OF 86.49 FEET TO THE POINT OF BEGINNING.

PROJECT LEGAL DESCRIPTION (CONTINUED)

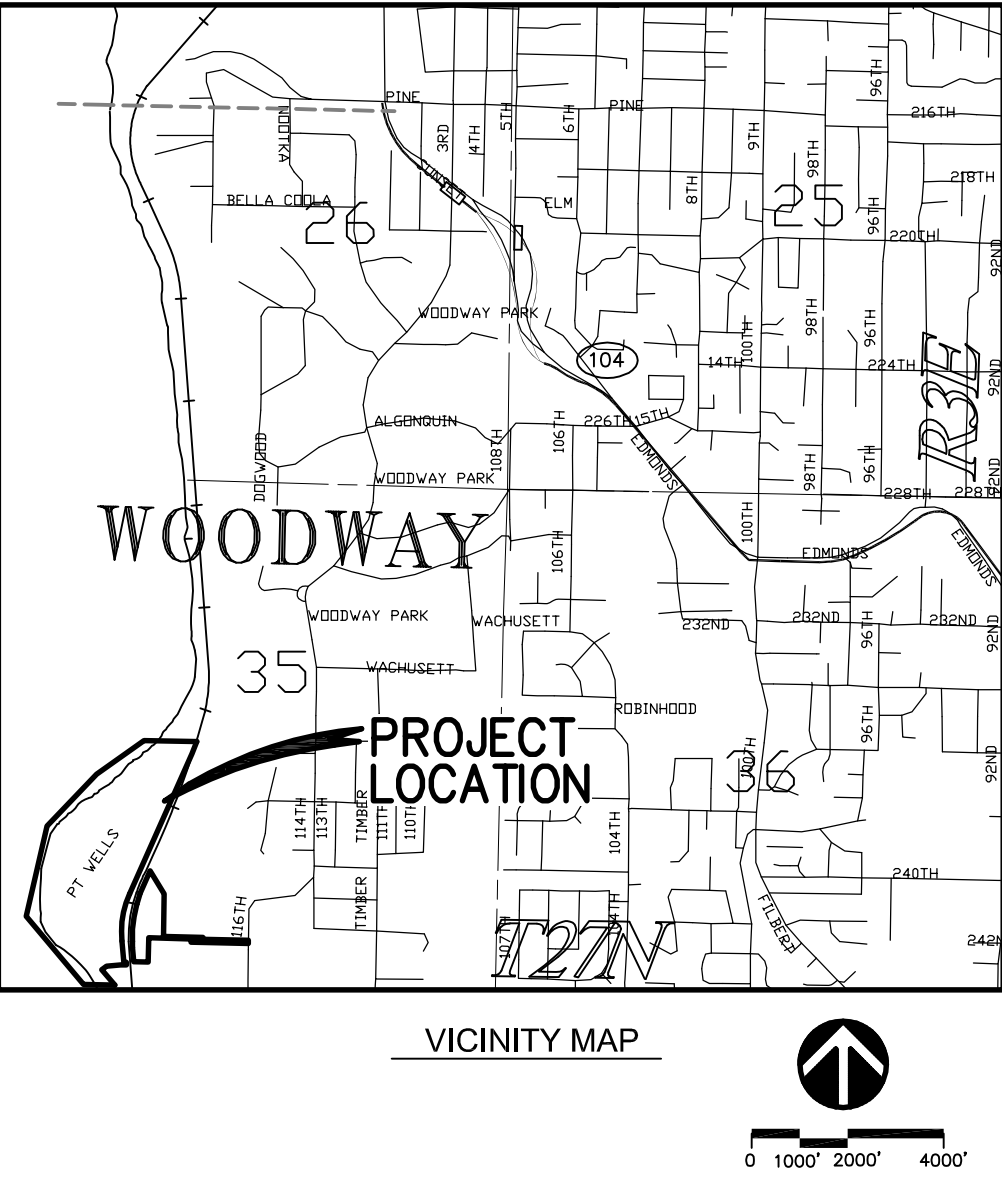
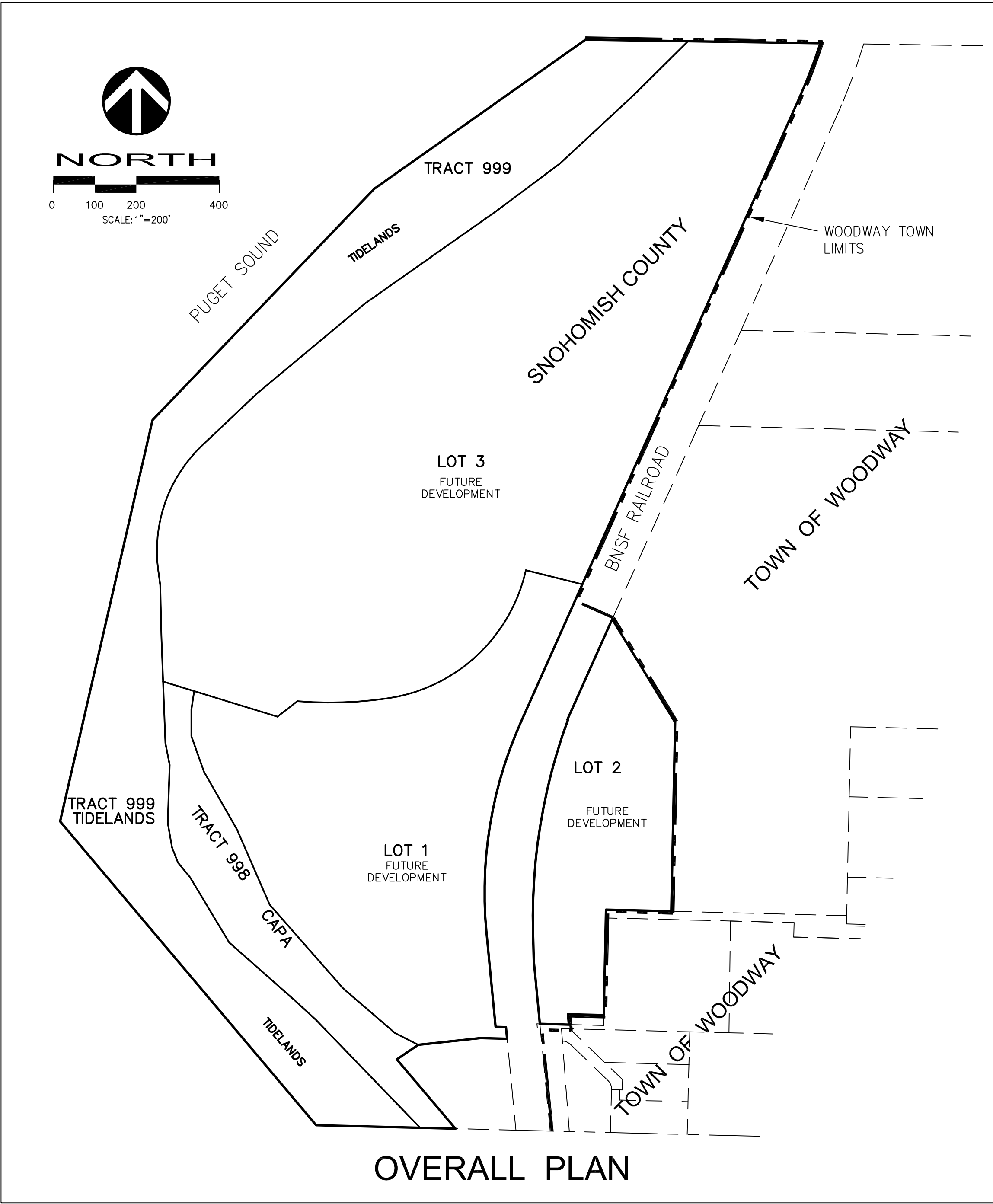
PARCEL F
ALL THAT PORTION OF GOVERNMENT LOT 4, SECTION 35, TOWNSHIP 27 NORTH, RANGE 3 EAST, W.M., DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 35;
THENCE NORTH 0°12'27" EAST, 247.50 FEET;
THENCE NORTH 89°00" WEST ALONG THE NORTH LINE OF PROPERTY CONVEYED TO ELIZABETH JANE SPENCER BY DEED RECORDED IN VOLUME 5 OF DEEDS, PAGE 264, 1100.27 FEET TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION;
THENCE NORTH 10 FEET TO A POINT ON THE SOUTH LINE OF PROPERTY CONVEYED TO NORTH AMERICAN TERRA COTTA TILE BY DEED RECORDED UNDER AUDITOR'S FILE NUMBER 81850;
THENCE NORTH 89°00" WEST ALONG THE SOUTH LINE OF SAID NORTH AMERICAN TERRA COTTA TILE PARCEL TO THE MEANDER LINE OF SAID SECTION 35;
THENCE SOUTH 44°57'35" EAST, ALONG THE SAID MEANDER LINE 14.77 FEET TO A POINT WHICH IS 10 FEET SOUTH OF AND PARALLEL TO THE LINE LAST ABOVE DESCRIBED;
THENCE SOUTH 89°00" EAST TO THE POINT OF BEGINNING;
EXCEPT THAT PORTION OF SAID PREMISES LYING EASTERLY OF THE WESTERLY LINE OF THE SEATTLE AND MONTANA RAILWAY COMPANY'S RIGHT OF WAY, NOW KNOWN AS BURLINGTON NORTHERN, INC., A DELAWARE CORPORATION, AS CONVEYED BY DEEDS RECORDED UNDER AUDITOR'S FILE NUMBERS 5277 AND 120070, TOGETHER WITH TIDELANDS OF THE SECOND CLASS SITUATE IN FRONT OF, ADJACENT TO, OR ABUTTING UPON THE ABOVE DESCRIBED PARCEL F, AS CONVEYED BY THE STATE OF WASHINGTON RECORDED UNDER AUDITOR'S FILE NUMBER 758480.

PARCEL G
ALL THAT PORTION OF GOVERNMENT LOT 4, SECTION 35, TOWNSHIP 27 NORTH, RANGE 3 EAST, W.M., AND OF LOT 4 EDMONDS TIDE LANDS, ACCORDING TO THE MAP ON FILE IN OLYMPIA, WASHINGTON ENTITLED "PLAT OF TIDE LANDS OF THE FIRST CLASS AT THE TOWN OF EDMONDS" LYING WESTERLY OF THAT CERTAIN STRIP OF LAND CONVEYED TO SEATTLE AND MONTANA RAILWAY COMPANY, NOW KNOWN AS BURLINGTON NORTHERN, INC., A DELAWARE CORPORATION BY DEED RECORDED UNDER AUDITOR'S FILE NUMBER 5662, AND SOUTH OF A LINE WHICH IS PARALLEL TO AND DISTANT 247.5 FEET NORTH OF THE SOUTH LINE OF SECTION 35 AS PRODUCED FROM THE SOUTHEAST CORNER OF SECTION 35 THROUGH THE QUARTER CORNER ON THE SOUTH LINE OF SAID SECTION; EXCEPT THAT PORTION CONTAINED IN ORDER ADJUDICATING PUBLIC USE AND NECESSITY UNDER SNOHOMISH COUNTY SUPERIOR COURT CAUSE NO. 09-2-13876-1, AS FOLLOWS:
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 35;
THENCE ALONG THE SOUTH LINE OF SAID SECTION, NORTH 88°33'35" WEST 1306.22 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF THE BURLINGTON NORTHERN SANTA FE RAILWAY AND THE TRUE POINT OF BEGINNING;
THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, NORTH 05°28'24" WEST 221.33 FEET;
THENCE NORTH 88°33'35" WEST 64.24 FEET;
THENCE SOUTH 83°44'46" WEST 150.85 FEET;
THENCE SOUTH 55°49'35" WEST 62.29 FEET;
THENCE SOUTH 40°13'07" EAST 218.50 FEET TO SAID SOUTH LINE;
THENCE ALONG SAID SOUTH LINE, SOUTH 88°33'35" EAST 145.84 FEET TO THE TRUE POINT OF BEGINNING.

ALL SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

DEDICATION

TRACT 999 (CRITICAL AREA PROTECTION AREA) IS HEREBY GRANTED AND CONVEYED TO THE POINT WELLS URBAN CENTER HOMEOWNERS ASSOCIATION (HOA) UPON RECORDING OF THIS SHORT PLAT, SUBJECT TO AN EMERGENCY MAINTENANCE EASEMENT GRANTED AND CONVEYED TO SNOHOMISH COUNTY. OWNERSHIP AND MAINTENANCE OF SAID TRACT CONSISTENT WITH COUNTY CODE SHALL BE THE RESPONSIBILITY OF THE HOA UNLESS AND UNTIL TRACT OWNERSHIP BY ALL LOTS WITHIN THIS SUBDIVISION IS AUTHORIZED PURSUANT TO A FINAL SHORT PLAT ALTERATION. USE OF SAID TRACT IS RESTRICTED TO THAT SPECIFIED IN THE APPROVED FINAL SHORT PLAT. THE HOA AND THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION SHALL COMPLY WITH THOSE COUNTY REGULATIONS AND CONDITIONS OF FINAL SUBDIVISION APPROVAL SPECIFIED ON THE SHORT PLAT. THE HOA SHALL REMAIN IN EXISTENCE UNLESS AND UNTIL ALL LOTS WITHIN THIS SUBDIVISION HAVE ASSUMED COMMON OWNERSHIP OF SAID TRACT. IN THE EVENT THAT THE HOA SHOULD BE DISSOLVED, THEN EACH LOT SHALL HAVE AN EQUAL AND UNDIVIDED OWNERSHIP INTEREST IN THE TRACT PREVIOUSLY OWNED BY THE HOA AS WELL AS RESPONSIBILITY FOR MAINTAINING THE TRACT. MEMBERSHIP IN THE HOA AND PAYMENT OF DUES OR OTHER ASSESSMENTS FOR MAINTENANCE PURPOSES SHALL BE A REQUIREMENT OF LOT OWNERSHIP, AND SHALL REMAIN AN APPURTENANCE TO AND INSEPARABLE FROM EACH LOT. THIS COVENANT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HOA, THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION AND ALL OTHERS HAVING ANY INTEREST IN THE TRACTS OR LOTS.



DEVELOPMENT DATA

APPLICANT: BSRE POINT WELLS, LP
c/o KARR TUTTLE CAMPBELL
701 FIFTH AVENUE
SUITE 3300
SEATTLE, WASHINGTON 98101
206-222-8061
ATTENTION: DOUGLAS A. LUETJEN

ENGINEER/PLANNER: DAVID EVANS AND ASSOCIATES, INC.
SURVEYOR: 1620 W. MARINE VIEW DR. SUITE 200
EVERETT, WASHINGTON 98201
425-259-4099
ATTENTION: JACK N. MOLVER, P.E.
ATTENTION: GILBERT LAAS, P.L.S.

SITE ADDRESS

20500 RICHMOND BEACH DR. NW
EDMONDS, WA 98026

PRELIMINARY SHORT PLAT DATA

EXISTING ZONING: PLANNED COMMUNITY BUSINESS (PCB)
VESTED ZONING URBAN CENTER (EFFECTIVE DATE MAY 2010).
PROPOSED LAND USE: URBAN CENTER DEVELOPMENT
WATER DISTRICT: OLIVIA WITH DEVELOPMENT OF URBAN
SEWER DISTRICT: RONALD WASTEWATER DISTRICT
FIRE DISTRICT: CITY OF SHORELINE
SCHOOL DISTRICT: EDMONDS SCHOOL DISTRICT NO. 15
TOTAL SITE AREA: 2,653,620 SF
NUMBER OF LOTS: 5
OPEN SPACE OR TIDELANDS: 692,032 SF (26% OF TOTAL)
AVERAGE LOT SIZE = 2,653,620/5 = 530,724 SF

MINIMUM NET DENSITY

PER SCC 30.41B.120 NET DENSITY > 4 UNITS/ACRE
ULTIMATE BUILD OUT WITH DEVELOPMENT OF URBAN
CENTER WILL BE 3,081 UNITS
3,081/60.92 = 50.51 UNITS/AC

BENCHMARK

ELEV 49.126-NAVD88 DATUM
CONC MON WITH 1.75" BRASS DISK NEAR
CENTER OF INTERSECTION OF NW 204th ST
AND RICHMOND BEACH DRIVE NW.
N 287367.486
E 1256951.590
ELEV 145.406 (METRO DATUM)
SUBTRACT 96.280 FOR NAVD88 DATUM

EASEMENT NOTES

- RAILROAD TRACK EASEMENT, AF #213070 - UNABLE TO PLOT.
- POLE LINE EASEMENT, AF #433520 - UNABLE TO PLOT.

NOTES

- SHORELINE IS DESIGNATED AS "URBAN".
- ALL EXISTING STRUCTURES WILL BE REMOVED.
- VERTICAL DATUM USED IS NAVD88. TO CONVERT TO NGVD29 DATUM, SUBTRACT 3.60 FEET.
- DATE OF AERIAL TOPOGRAPHIC MAP IS MARCH 3, 2003.
- SITE AREA IS 2,653,620 SQ. FT.
- CURRENT USE OF THE SITE IS AS AN ASPHALT PLANT AND TANK FARM.
- PRELIMINARY SHORT PLAT IS PREPARED ON FEBRUARY 14, 2011.
- THE MAJORITY OF THE SITE IS IN FEMA FLOOD ZONE X. THERE IS A STRIP IN THE AREA DESIGNATED "TIDELANDS" THAT IS IN ZONE AE, ELEVATION 10 (NGVD 29 DATUM).
- A PORTION OF THE SITE MAY BE WITHIN A MODERATELY SENSITIVE AQUIFER RECHARGE AREA.

TRACT DESIGNATION

TRACT 999 TIDELANDS AREA 555,161 S.F.
TRACT 998 CAPA AREA 136,871 S.F.

SHEET INDEX

SHEET 1: OVERALL PLAN, LEGAL DESCRIPTION AND NOTES
SHEET 2-5: EXISTING EASEMENTS WITH PROPOSED LOT LINES
SHEET 4-5: EXISTING TOPOGRAPHICAL SURVEY WITH PROPOSED LOT LINES

PRELIMINARY SHORT PLAT
BSRE POINT WELLS, LP

OVERALL PLAN
SNOHOMISH COUNTY
WASHINGTON



DAVID EVANS
AND ASSOCIATES, INC.
1620 W. Marine View Drive, Suite 200
Everett Washington 98201
Phone: 425.259.4099



REVISIONS: APPD.

REVISED APRIL 19, 2018

REVISED APRIL 12, 2017

DATE: MARCH 13, 2017

DESIGN:

DRAWN:

CHECKED:

REVISION

NUMBER:

SCALE: 1"=100'

PROJECT NUMBER:

PARA00000002

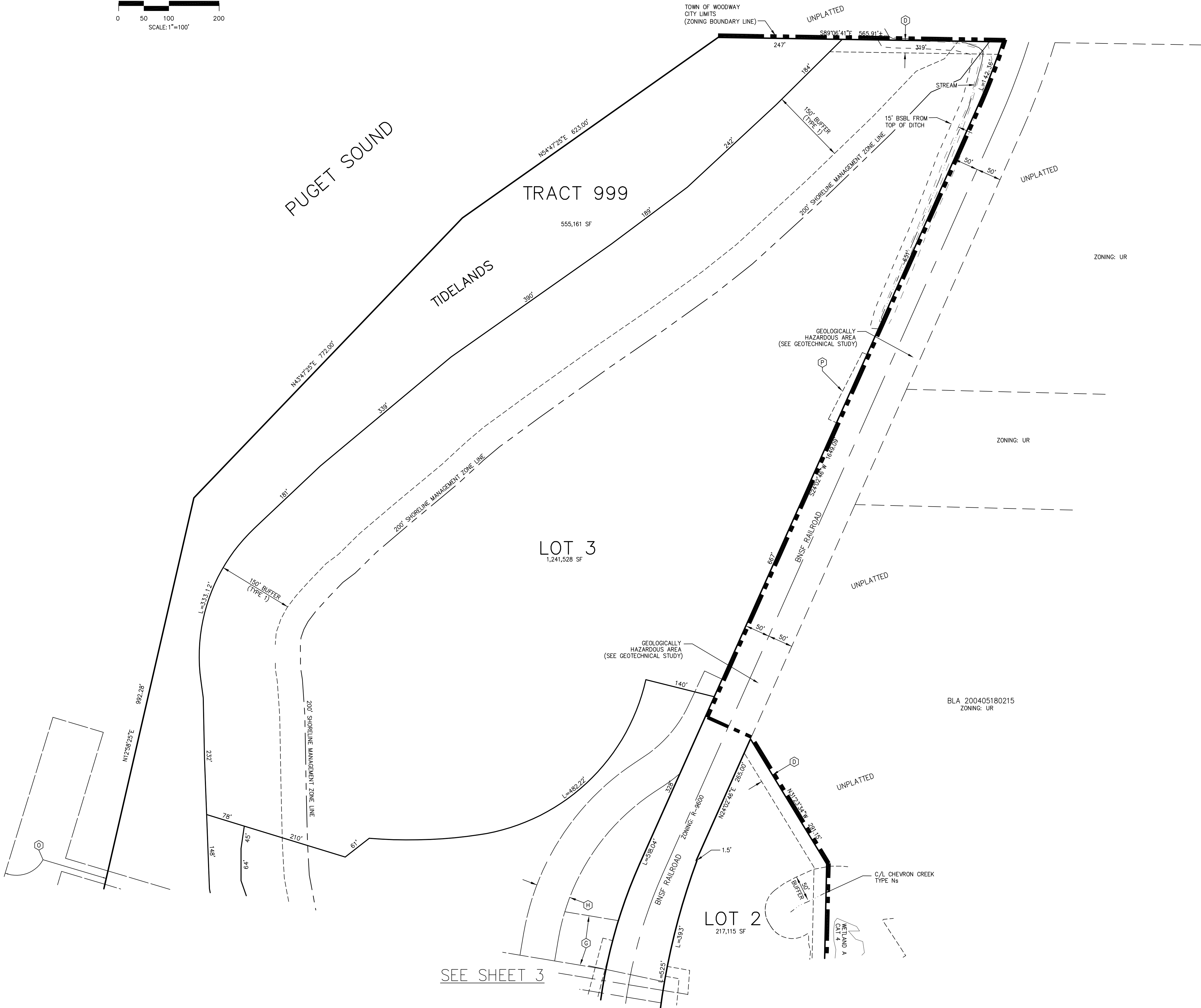
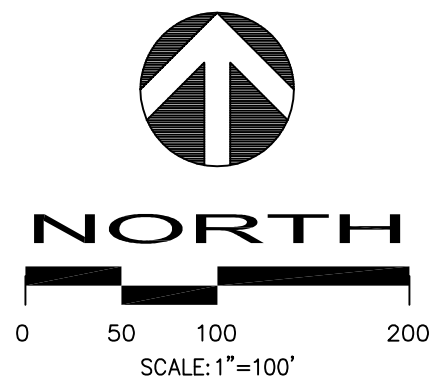
DRAWING FILE:

SHEET NO.

1

OF 5

A PORTION OF THE SW 1/4 OF SECTION 35, T 27 N, R 3 E, WM



EASEMENT NOTES

- (A) 20' STORM DRAINAGE & UTILITY EASEMENT PER ROS 200405245217 AF #19991100667 (APPROXIMATE LOCATION)
- (B) INGRESS, EGRESS AND UTILITY EASEMENT PER AF #200606271070
- (C) 10' WATER MAIN EASEMENT PER ROS 200405245217 AF #206120018 (APPROXIMATE LOCATION)
- (D) TYPE "A" LANDSCAPE BUFFER 25' AVERAGE WIDTH
- (E) 50' WIDE ACCESS EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (F) 25' WIDE PERMANENT RAILROAD CROSSING PER KING COUNTY CAUSE NO. 05-2-13678-1
- (G) RAILROAD CONSTRUCTION STAGING AREA PER KING COUNTY CAUSE NO. 05-2-13678-1
- (H) 70' WIDE TEMPORARY RAILROAD ACCESS EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (I) 25' WIDE ACCESS EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (J) NORTHERLY LINE OF "WEST PARCEL" TEMPORARY CONSTRUCTION EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (K) 25' WIDE RELOCATABLE ACCESS EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (L) 20' WIDE OUTFALL EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (M) 20' WIDE RESTRICTED BUILD AREA PER KING COUNTY CAUSE NO. 05-2-13678-1
- (N) "BARGE" TEMPORARY CONSTRUCTION EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (O) "DNR PARCEL" TEMPORARY CONSTRUCTION EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (P) RAILROAD EASEMENT PER ROS 200405245217 AF #655816 (APPROXIMATE LOCATION)
- (Q) 20' WATER MAIN EASEMENT PER AF #9603290025
- (R) CENTERLINE OF 10' WIDE ELECTRICAL FACILITIES EASEMENT PER AF #9603180060 (APPROXIMATE LOCATION)
- (S) INGRESS, EGRESS AND UTILITY EASEMENT PER AF #200606271070

PRELIMINARY SHORT PLAT
BSRE POINT WELLS, LP
EXISTING EASEMENTS
SNOHOMISH COUNTY
WASHINGTON



REVISIONS: APPD.

REVISED APRIL 19, 2018

REVISED APRIL 12, 2017

DATE: MARCH 13, 2017
DESIGN:
DRAWN:
CHECKED:
REVISION
NUMBER:

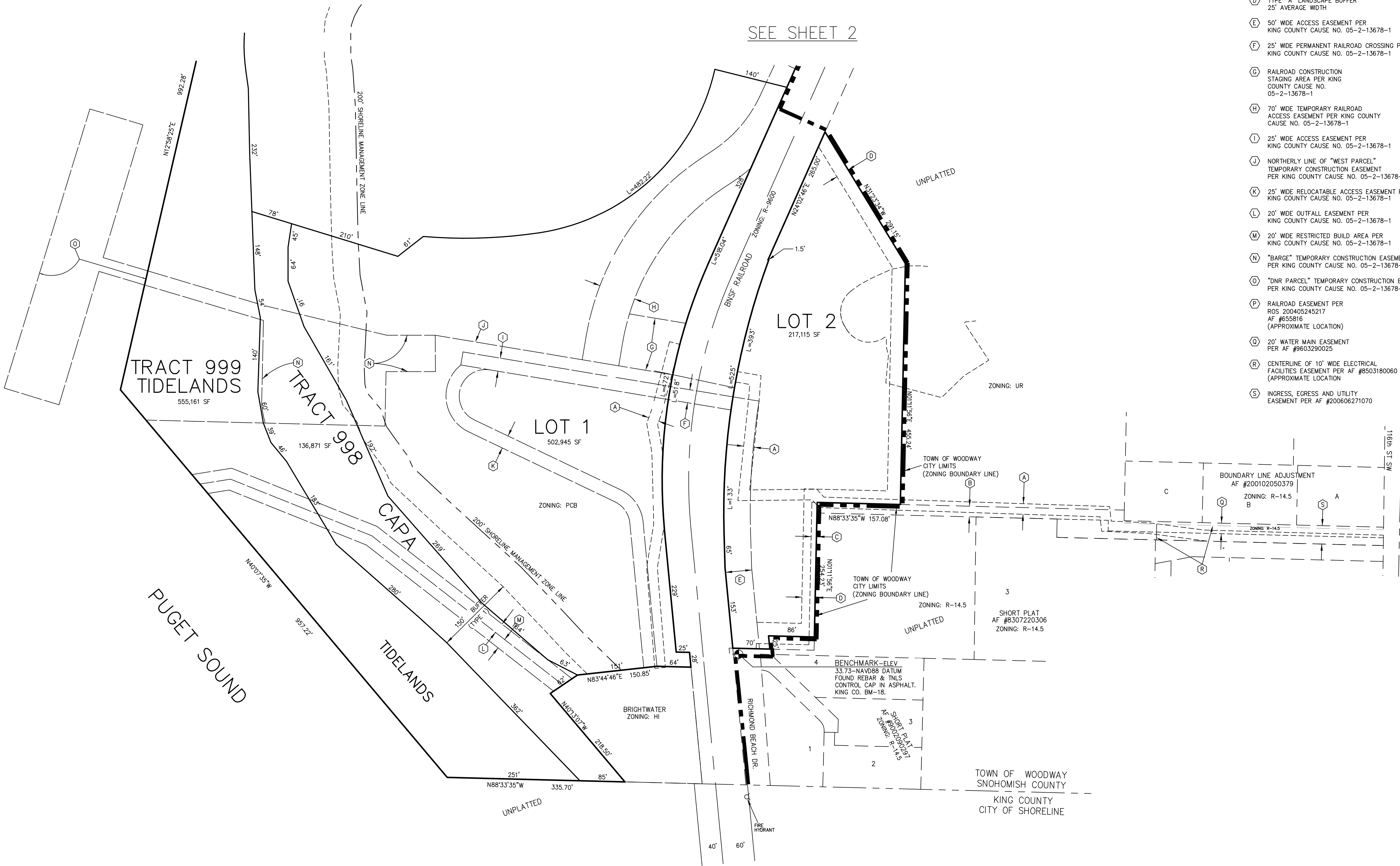
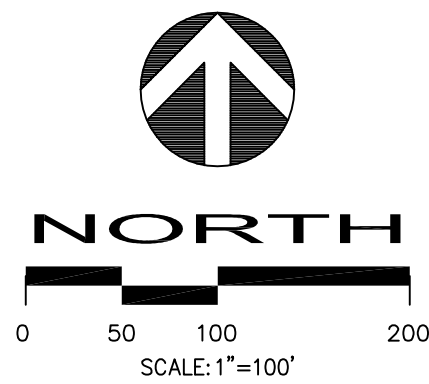
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PROJECT NUMBER:
PARA00000002

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SHEET NO.

2
OF 5



EASEMENT NOTES

- (A) 20' STORM DRAINAGE & UTILITY EASEMENT PER ROS 200405245217 AF #19991100667 (APPROXIMATE LOCATION)
- (B) INGRESS, EGRESS AND UTILITY EASEMENT PER AF #200606271070
- (C) 10' WATER MAIN EASEMENT PER ROS 200405245217 AF #9206120018 (APPROXIMATE LOCATION)
- (D) TYPE "A" LANDSCAPE BUFFER 25' AVERAGE WIDTH
- (E) 50' WIDE ACCESS EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (F) 25' WIDE PERMANENT RAILROAD CROSSING PER KING COUNTY CAUSE NO. 05-2-13678-1
- (G) RAILROAD CONSTRUCTION STAGING AREA PER KING COUNTY CAUSE NO. 05-2-13678-1
- (H) 70' WIDE TEMPORARY RAILROAD ACCESS EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
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- (J) NORTHERLY LINE OF "WEST PARCEL" TEMPORARY CONSTRUCTION EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (K) 25' WIDE RELOCATABLE ACCESS EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (L) 20' WIDE OUTFALL EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (M) 20' WIDE RESTRICTED BUILD AREA PER KING COUNTY CAUSE NO. 05-2-13678-1
- (N) "BARGE" TEMPORARY CONSTRUCTION EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
- (O) "DNR PARCEL" TEMPORARY CONSTRUCTION EASEMENT PER KING COUNTY CAUSE NO. 05-2-13678-1
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- (Q) 20' WATER MAIN EASEMENT PER AF #9603290025
- (R) CENTERLINE OF 10' WIDE ELECTRICAL FACILITIES EASEMENT PER AF #9503180060 (APPROXIMATE LOCATION)
- (S) INGRESS, EGRESS AND UTILITY EASEMENT PER AF #200606271070

PRELIMINARY SHORT PLAT
BSRE POINT WELLS, LP
EXISTING EASEMENTS
SNOHOMISH COUNTY
WASHINGTON



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REVISED APRIL 19, 2018

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SCALE: 1"=100'

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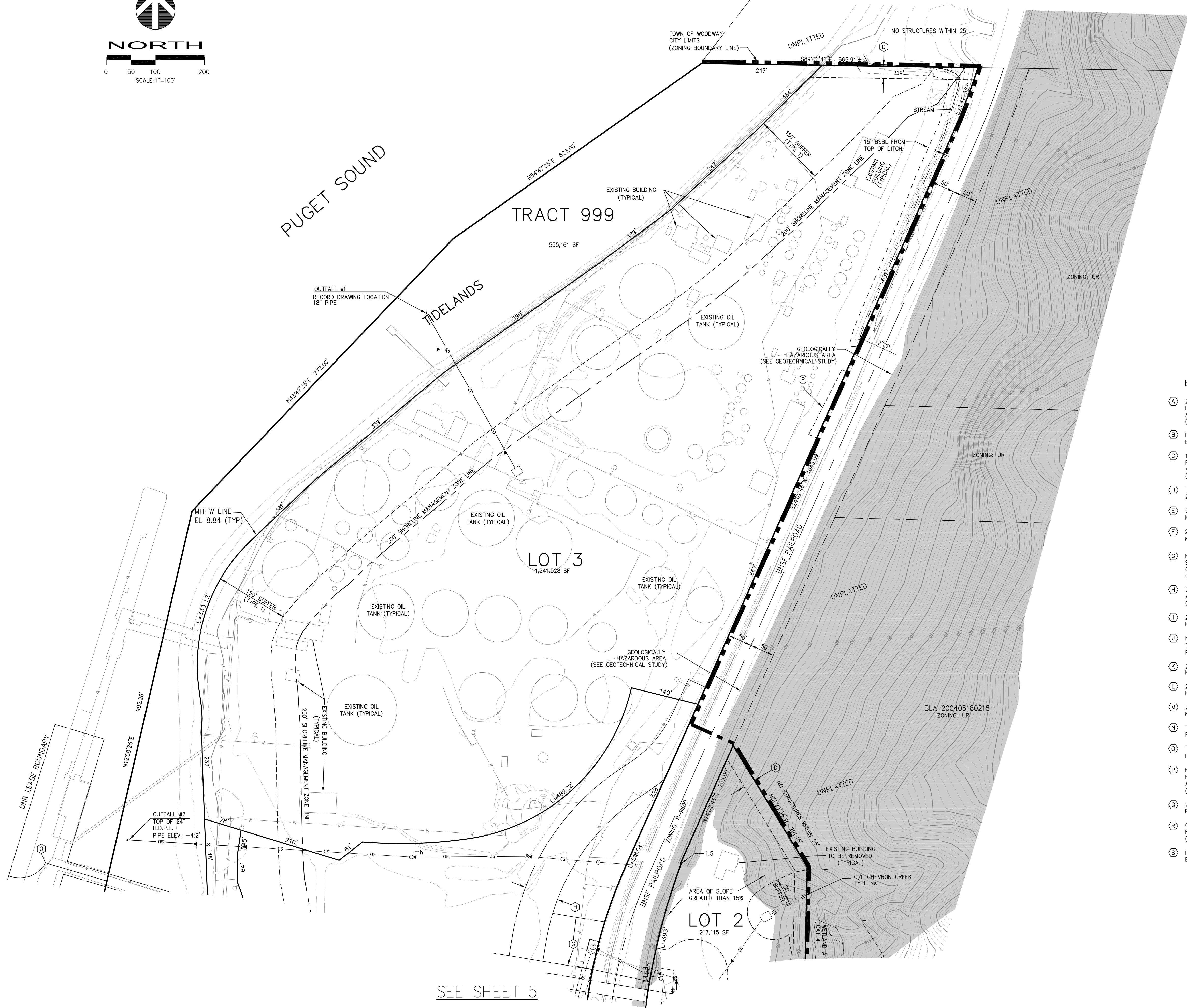
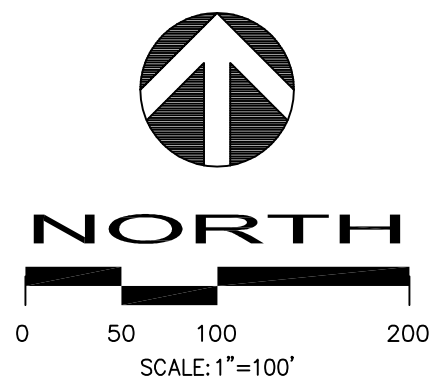
DRAWING FILE:

SHEET NO.

3

OF 5

A PORTION OF THE SW 1/4 OF SECTION 35, T 27 N, R 3 E, WM



SEE SHEET 5

EASEMENT NOTES

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PRELIMINARY SHORT PLAT
BSRE POINT WELLS, LP
TOPOGRAPHICAL MAP
SNOHOMISH COUNTY
WASHINGTON



DAVID EVANS AND ASSOCIATES, INC.
1620 W. Marine View Drive, Suite 200
Everett Washington 98201
Phone: 425.259.4099

REVISIONS: APPD.

REVISED APRIL 19, 2018

REVISED APRIL 12, 2017

DATE: MARCH 13, 2017
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REVISION
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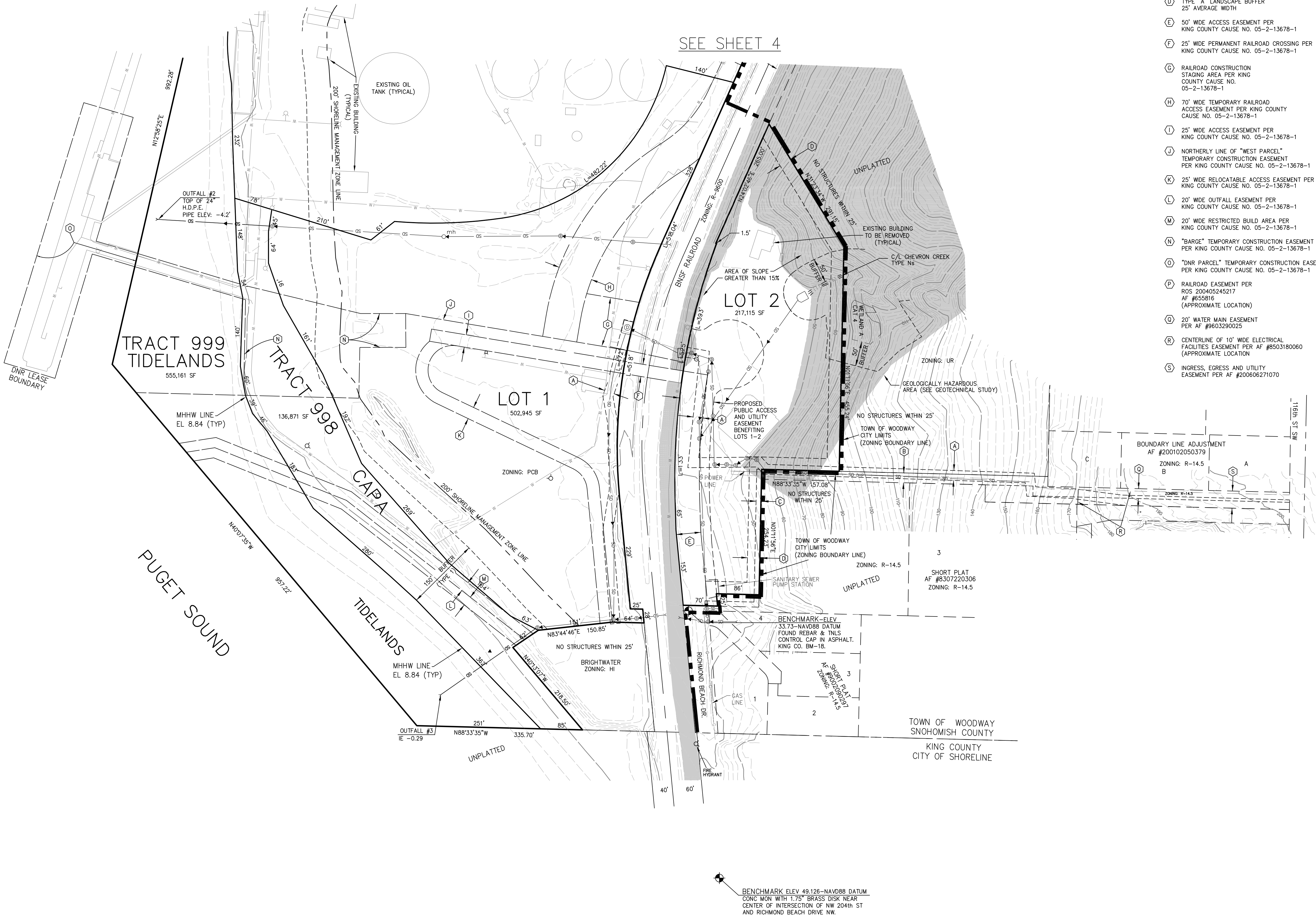
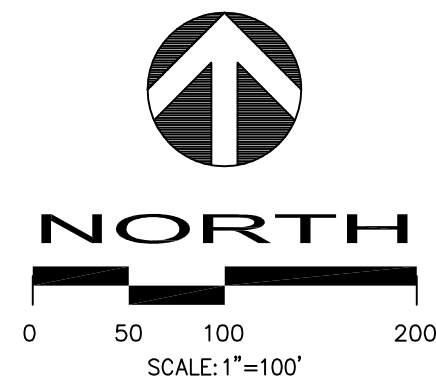
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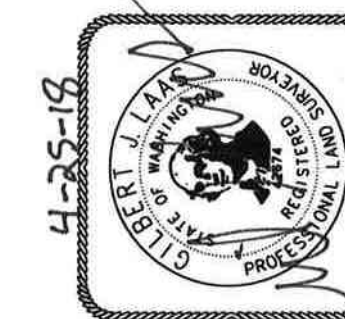
4
OF 5



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PRELIMINARY SHORT PLAT
BSRE POINT WELLS, LP
TOPOGRAPHICAL MAP
SNOHOMISH COUNTY
WASHINGTON



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AND ASSOCIATES, INC.**
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Everett Washington 98201
Phone: 425.259.4099

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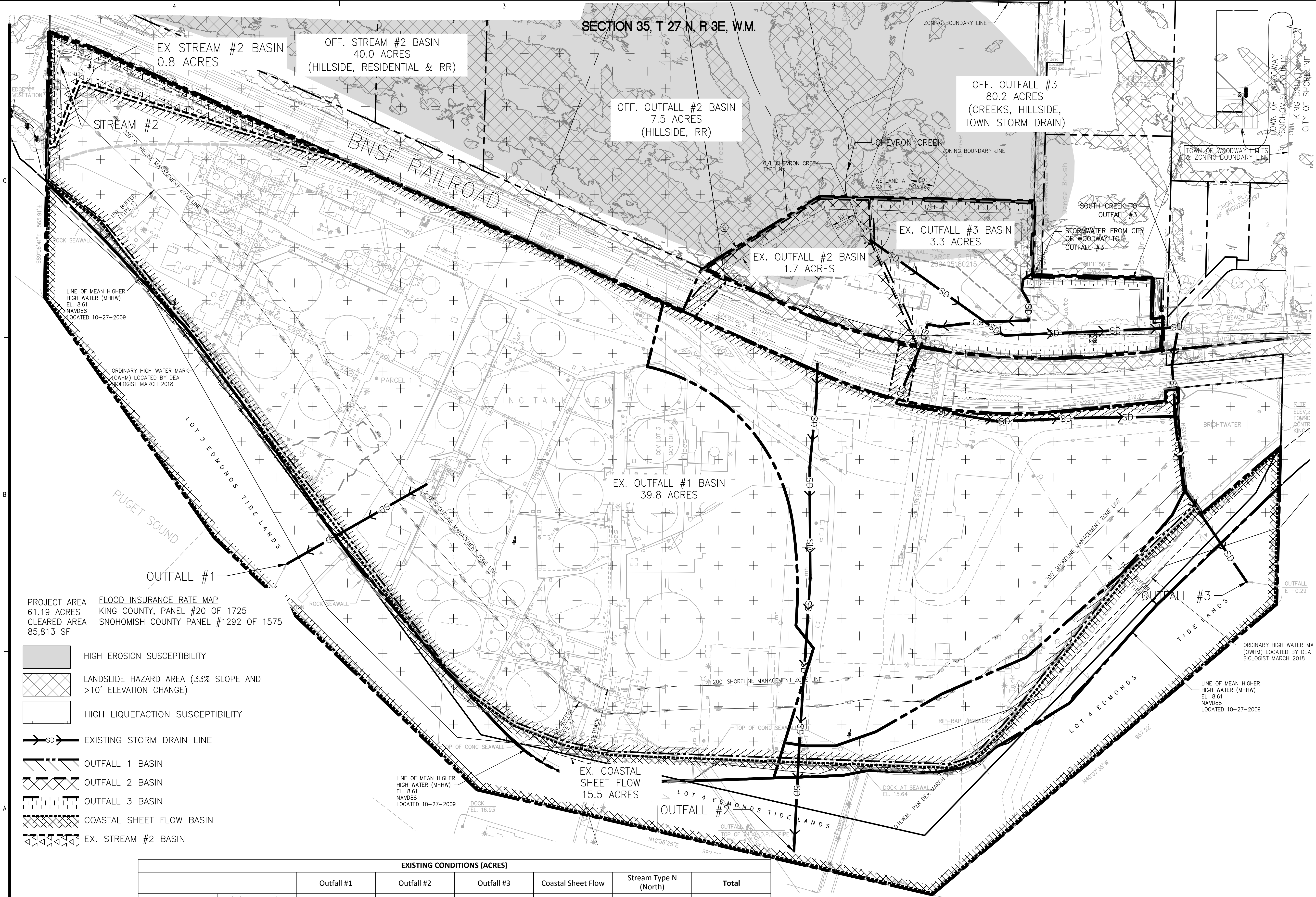
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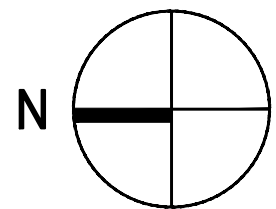
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OF 5

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plopez-hillier



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		EXISTING CONDITIONS (ACRES)					
		Outfall #1	Outfall #2	Outfall #3	Coastal Sheet Flow	Stream Type N (North)	Total
Onsite	Existing Impervious	38.71	0.18	0.85	0.00	0.38	40.12
	Existing Pervious	1.10	1.52	2.49	15.54	0.42	21.07
	Subtotal	39.81	1.70	3.34	15.54	0.80	61.19
Offsite	Existing Impervious	0	0	44.03	0	11.58	55.61
	Existing Pervious	0.00	7.50	36.173	0.00	28.42	72.09
	Subtotal	0.00	7.50	80.20	0.00	40.00	127.70
Total		39.81	9.20	83.54	15.54	40.80	188.89



PERMIT NUMBER 101007SP

PRELIMINARY SHORT SUBDIVISION 04/28/18

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Redevelopment
Preliminary Short
Subdivision
BSRE
Point Wells, LP**

c/o Karr Tuttle Campbell
701 Fifth Avenue, Suite 3300
Seattle, Washington 98104

in association with:

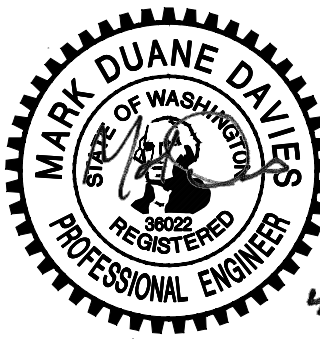
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SEATTLE, WA 98104
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F 206.323.0125
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Snohomish County Planning & development Services
APPROVED FOR CONSTRUCTION

By: Randolph R. Sleight, P.E., P.L.S.
R/W Permit No.



REV.	ISSUE	DATE
1	CORRECTION	04.18.2017
2	CORRECTION	04.24.2018

Sheet Information

Date 04/28/2018
Job Number 169009.000
Drawn
Checked
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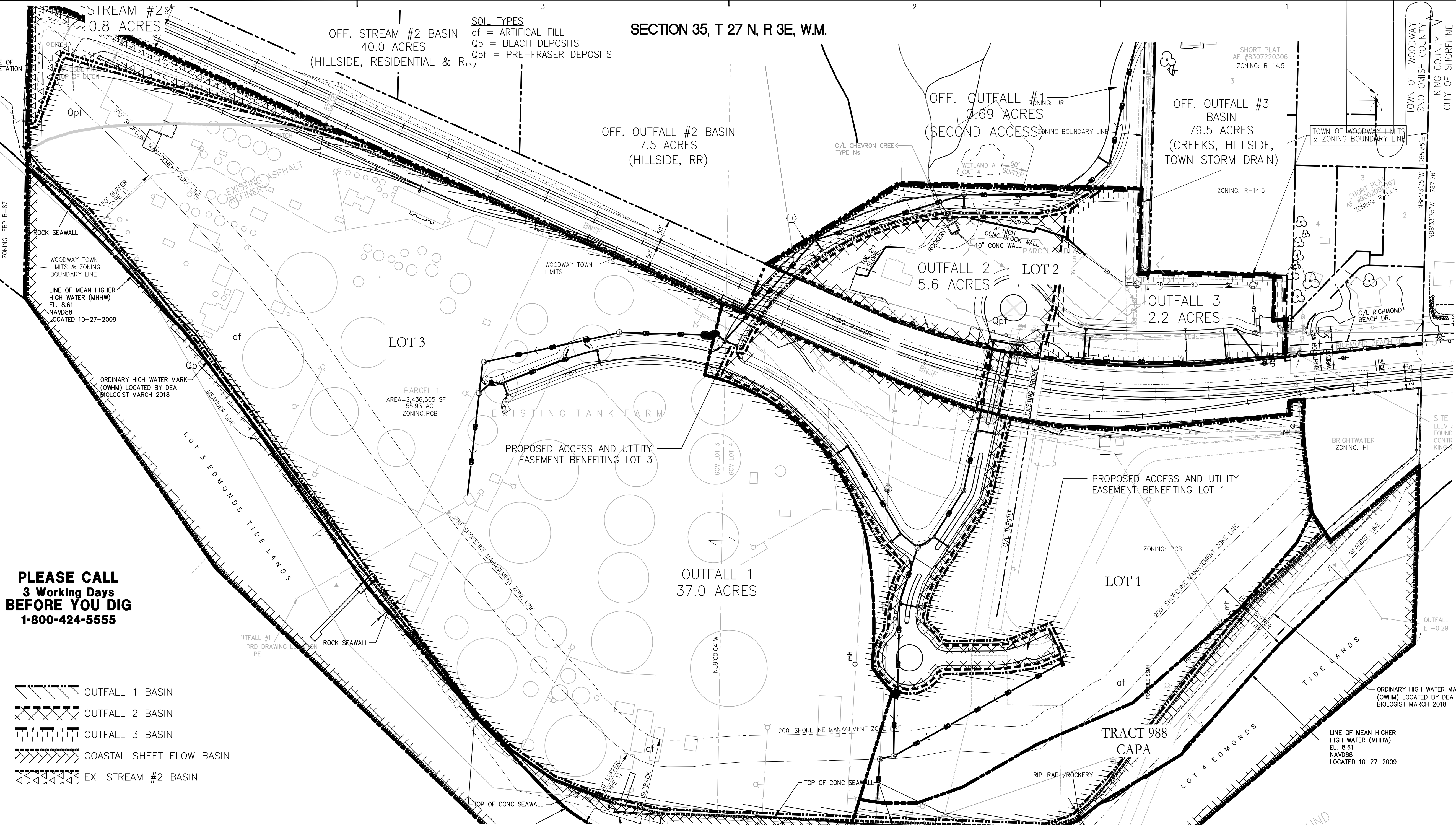
Title

**On-Site Existing
Drainage Basins**

Sheet
C-010
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2'
1'
1/2'



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- OUTFALL 1 BASIN
- OUTFALL 2 BASIN
- OUTFALL 3 BASIN
- COASTAL SHEET FLOW BASIN
- EX. STREAM #2 BASIN

		DEVELOPED CONDITIONS (ACRES)					
Onsite		Outfall #1	Outfall #2	Outfall #3	Coastal Sheet Flow	Stream Type N (North)	Total
	Undisturbed Imp	31.51	0.70	0.83	0.00	0.38	
	Undisturbed Perv	0.00	0.00	0.28	15.54	0.42	
	Proposed Impervious	1.42	2.67	0.76	0.00	0.00	
	Pollution Gen Imp Surf	1.07	1.38	0.65	0.00	0.00	
	Proposed Pervious	4.08	2.27	0.33	0.00	0.00	
	Impervious Subtotal	32.93	3.37	1.59	0.00	0.38	38.27
Offsite							
	Pervious Subtotal	4.08	2.27	0.61	15.54	0.42	22.92
	Total	37.01	5.64	2.20	15.54	0.80	61.19
	Undisturbed Imp	0.00	0.00	44.03	0.00	11.58	
	Undisturbed Perv	0.00	7.50	35.48	0.00	28.42	
	Proposed Impervious	0.59	0.00	0.00	0.00	0.00	
	Pollution Gen Imp Surf	0.59	0.00	0.00	0.00	0.00	
Total	Proposed Pervious	0.10	0.00	0.00	0.00	0.00	
	Impervious Subtotal	0.59	0.00	44.03	0.00	11.58	56.20
	Pervious Subtotal	0.10	7.50	35.48	0.00	28.42	71.50
	Total	0.69	7.50	79.51	0.00	40.00	127.70
	Total	37.70	13.14	81.71	15.54	40.80	188.89

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Point Wells Redevelopment Preliminary Short Subdivision BSRE Point Wells, LP

c/o Karr Tuttle Campbell
701 Fifth Avenue, Suite 3300
Seattle, Washington 98104

in association with:

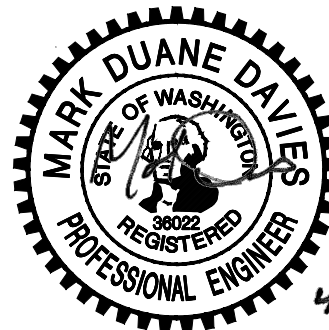
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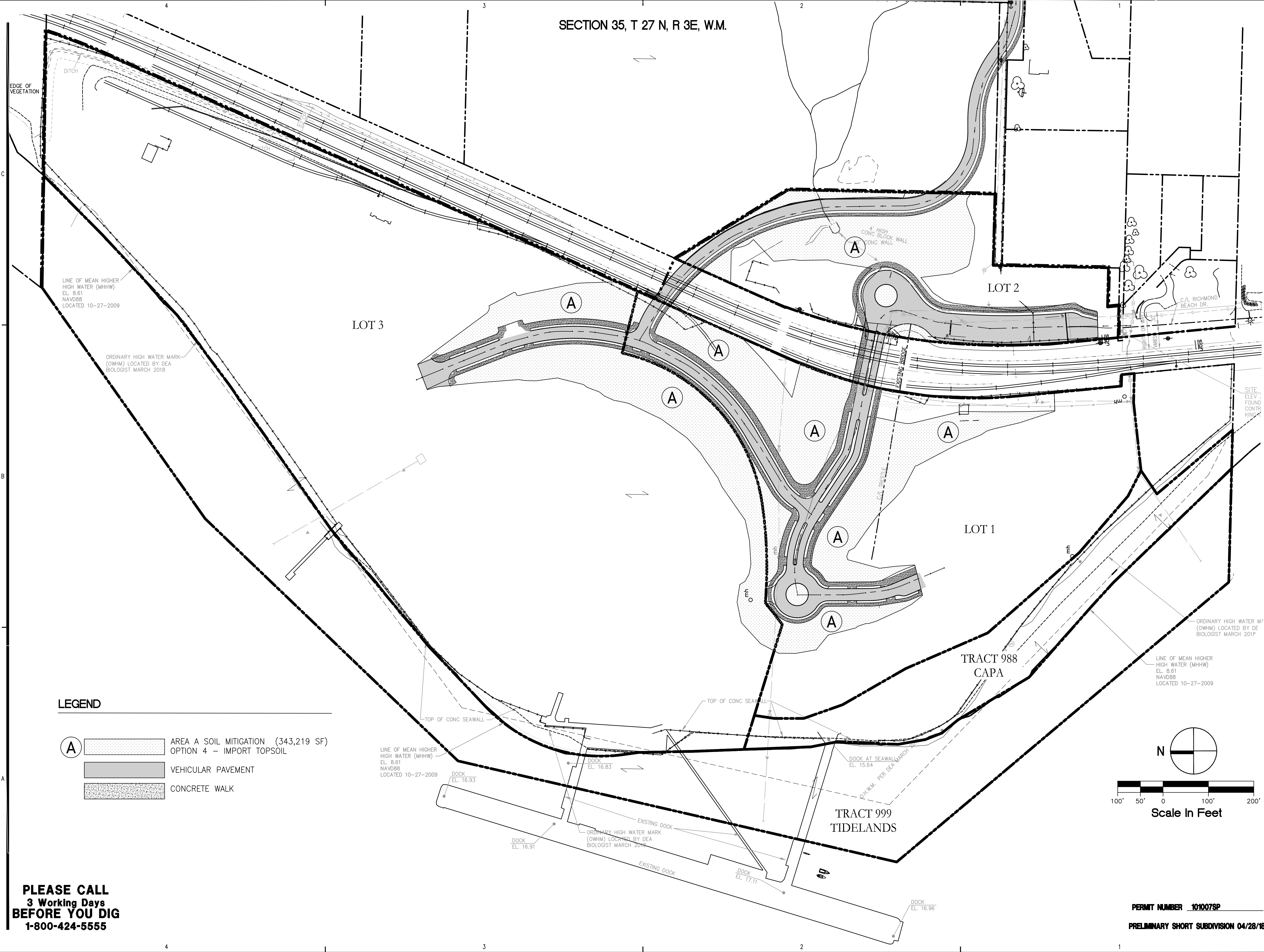
Preliminary Site & Targeted Stormwater Plan

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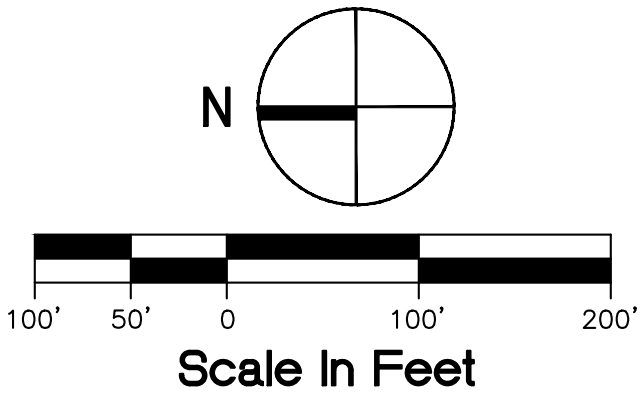
SECTION 35, T 27 N, R 3E, W.M.



LEGEND

- A** AREA A SOIL MITIGATION (343,219 SF) OPTION 4 - IMPORT TOPSOIL
- VEHICULAR PAVEMENT
- CONCRETE WALK

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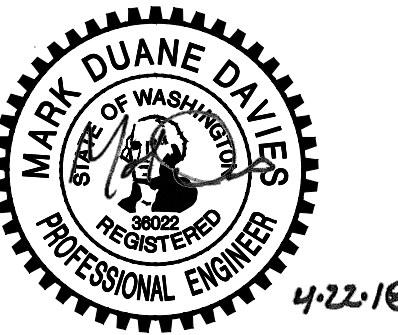
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Date 04/28/2018
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Soil Management
Plan

Sheet
C-020
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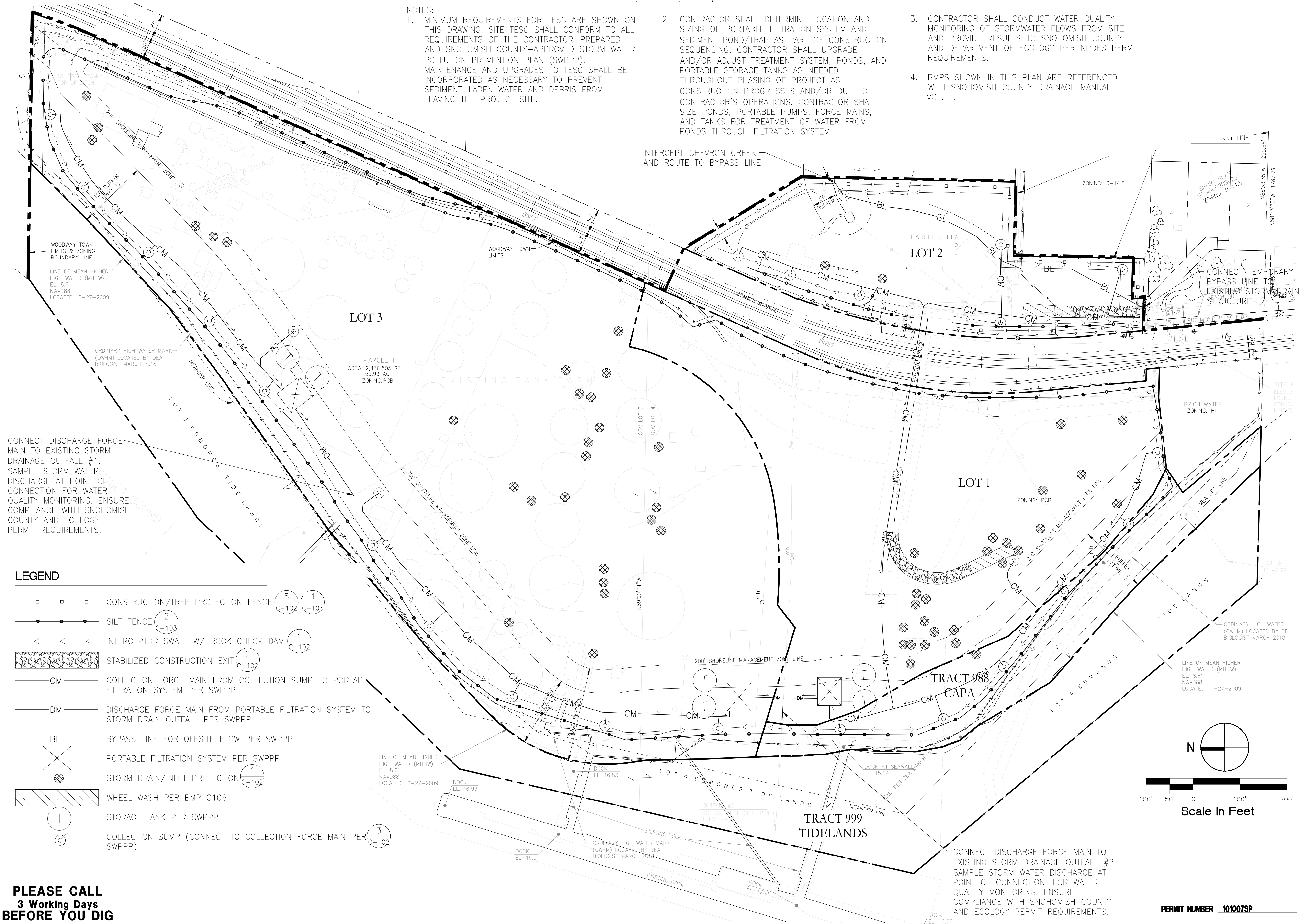
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2'
1'
1/2'

SECTION 35, T 27 N, R 3E, W.M.

NOTES:

1. MINIMUM REQUIREMENTS FOR TESC ARE SHOWN ON THIS DRAWING. SITE TESC SHALL CONFORM TO ALL REQUIREMENTS OF THE CONTRACTOR-PREPARED AND SNOHOMISH COUNTY-APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP). MAINTENANCE AND UPGRADES TO TESC SHALL BE INCORPORATED AS NECESSARY TO PREVENT SEDIMENT-LADEN WATER AND DEBRIS FROM LEAVING THE PROJECT SITE.
2. CONTRACTOR SHALL DETERMINE LOCATION AND SIZING OF PORTABLE FILTRATION SYSTEM AND SEDIMENT POND/TRAP AS PART OF CONSTRUCTION SEQUENCING. CONTRACTOR SHALL UPGRADE AND/OR ADJUST TREATMENT SYSTEM, PONDS, AND PORTABLE STORAGE TANKS AS NEEDED THROUGHOUT PHASING OF PROJECT AS CONSTRUCTION PROGRESSES AND/OR DUE TO CONTRACTOR'S OPERATIONS. CONTRACTOR SHALL SIZE PONDS, PORTABLE PUMPS, FORCE MAINS, AND TANKS FOR TREATMENT OF WATER FROM PONDS THROUGH FILTRATION SYSTEM.
3. CONTRACTOR SHALL CONDUCT WATER QUALITY MONITORING OF STORMWATER FLOWS FROM SITE AND PROVIDE RESULTS TO SNOHOMISH COUNTY AND DEPARTMENT OF ECOLOGY PER NPDES PERMIT REQUIREMENTS.
4. BMPs SHOWN IN THIS PLAN ARE REFERENCED WITH SNOHOMISH COUNTY DRAINAGE MANUAL VOL. II.



CONNECT DISCHARGE FORCE MAIN TO EXISTING STORM DRAINAGE OUTFALL #1. SAMPLE STORM WATER DISCHARGE AT POINT OF CONNECTION FOR WATER QUALITY MONITORING. ENSURE COMPLIANCE WITH SNOHOMISH COUNTY AND ECOLOGY PERMIT REQUIREMENTS.

LEGEND

- CONSTRUCTION/TREE PROTECTION FENCE (5) (1) C-102 C-103
- SILT FENCE (2) C-103
- INTERCEPTOR SWALE W/ ROCK CHECK DAM (4) C-102
- STABILIZED CONSTRUCTION EXIT (2) C-102
- CM COLLECTION FORCE MAIN FROM COLLECTION SUMP TO PORTABLE FILTRATION SYSTEM PER SWPPP
- DM DISCHARGE FORCE MAIN FROM PORTABLE FILTRATION SYSTEM TO STORM DRAIN OUTFALL PER SWPPP
- BL BYPASS LINE FOR OFFSITE FLOW PER SWPPP
- PORTABLE FILTRATION SYSTEM PER SWPPP
- STORM DRAIN/INLET PROTECTION (1) C-102
- WHEEL WASH PER BMP C106
- STORAGE TANK PER SWPPP
- COLLECTION SUMP (CONNECT TO COLLECTION FORCE MAIN PER SWPPP) (3) C-102

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P/W Permit No.



2

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2	CORRECTION	04.24.2018

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TESC Plan

Sheet

C-100

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PRELIMINARY SHORT SUBDIVISION 04/28/18

2'
1'
1/2'
0'

4

3

2

1

4

3

2

1

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Plot: 04/22/2018 8:46pm By: ploez-hillier

SNOHOMISH COUNTY TESC NOTES

1. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THE PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

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SECTION 35, T 27 N, R 3E, W.M.

TESC NOTES

1. CONSTRUCTION EROSION CONTROL MEASURES MUST BE IN PLACE AND APPROVED BY SNOHOMISH COUNTY\DOE INSPECTOR PRIOR TO ANY EARTH DISTURBANCE.
2. THE IMPLEMENTATION OF THE TEMPORARY EROSION AND SEDIMENT CONTROL (TESC) PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THE TESC FACILITIES IN COORDINATION WITH THE APPROVED, CONTRACTOR-PREPARED SWPPP IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND THE SITE IS PERMANENTLY STABILIZED.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE PUBLIC DRAINAGE SYSTEM. AS CONSTRUCTION PROGRESSES AND UNEXPECTED (SEASONAL) CONDITIONS DICTATE, MORE TEMPORARY SEDIMENTATION COLLECTION FACILITIES MAY BE REQUIRED TO PREVENT VIOLATING APPLICABLE WATER STANDARDS. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THEIR ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, AS NEEDED, TO PROTECT ADJACENT PROPERTIES.
4. THE TESC FACILITIES SHOWN ON THESE PLANS AND APPROVED SWPPP MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL DEMOLITION AND CLEARING AND GRADING ACTIVITIES AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE, ENTER THE DRAINAGE SYSTEM, OR VIOLATE APPLICABLE WATER STANDARDS.
5. DURING THE CONSTRUCTION PERIOD, THE TESC FACILITIES SHALL BE MAINTAINED AND UPGRADED IN COORDINATION WITH THE CONTRACTOR-PREPARED SWPPP AS NEEDED SO AS NOT TO VIOLATE APPLICABLE WATER STANDARDS.
6. STABILIZED CONSTRUCTION ENTRANCES AND WASH PADS SHALL BE INSTALLED AT ALL CONSTRUCTION SITE EXITS AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES AT THE CONTRACTOR'S EXPENSE MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
7. NO SEDIMENT SHALL BE TRACKED INTO THE STREET OR ONTO PAVED SURFACES. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE SITE. IN THE EVENT OF A FAILURE OF THE EROSION CONTROL SYSTEM, RESULTING IN SEDIMENT BEING TRACKED ONTO PAVED SURFACES, THE CONTRACTOR SHALL IMMEDIATELY IMPLEMENT MEASURES TO CORRECT THE SITUATION AND VACUUM STREET SWEEPING SHALL BE EMPLOYED ON AN EMERGENCY BASIS. IF VACUUM STREET SWEEPING VEHICLES ARE UTILIZED, THEY SHALL BE OF THE TYPE THAT ACTUALLY REMOVES THE SEDIMENT FROM THE PAVEMENT. WASHING OF THE STREETS WILL NOT BE ALLOWED WITHOUT PRIOR SNOHOMISH COUNTY APPROVAL.
8. ALL TESC FACILITIES SHALL CONFORM TO THE BEST MANAGEMENT PRACTICES LISTED IN THE SNOHOMISH COUNTY DRAINAGE MANUAL AND THE APPROVED SWPPP.
9. NO EXPOSED EARTH SHALL REMAIN UNSTABILIZED FOR MORE THAN 7 DAYS FROM MAY 1ST TO SEPTEMBER 30TH. FROM OCTOBER 1ST TO APRIL 30TH NO EXPOSED EARTH SHALL REMAIN UNSTABILIZED FOR MORE THAN 2 DAYS. STABILIZATION OF EXPOSED EARTH SHALL BE WITH APPROVED TESC BMP METHODS (I.E. SEEDING, MULCHING, NETTING, EROSION BLANKETS, COVERING, ETC.) IN COORDINATION WITH THE APPROVED SWPPP.
10. FROM OCTOBER 1 THROUGH APRIL 30, CLEARING, GRADING, AND OTHER SOIL DISTURBING ACTIVITIES SHALL ONLY BE PERMITTED IF SHOWN TO THE SATISFACTION OF THE LOCAL PERMITTING AUTHORITY THAT SILT-LADEN RUNOFF WILL BE PREVENTED FROM LEAVING THE SITE THROUGH A COMBINATION OF THE FOLLOWING:
 - SITE CONDITIONS INCLUDING EXISTING VEGETATIVE COVERAGE, SLOPE, SOIL TYPE, AND PROXIMITY TO RECEIVING WATERS; AND
 - LIMITATIONS ON ACTIVITIES AND THE EXTENT OF DISTURBED AREAS; AND
 - PROPOSED EROSION AND SEDIMENT CONTROL MEASURES. SEE SWPPP FOR ADDITIONAL REQUIREMENTS.
11. NO SEDIMENT SHALL BE ALLOWED TO ENTER ANY CATCH BASIN WITHIN THE SITE, OR ADJACENT PROPERTIES. IN THE EVENT OF A FAILURE OF THE TESC PLAN THAT RESULTS IN SEDIMENT ENTERING A CATCH BASIN, THE CONTRACTOR SHALL REMOVE ALL SUCH SEDIMENT IMMEDIATELY.
12. DISTURBED SOILS THAT ARE EXPOSED TO SURFACE RUNOFF SHALL BE IMMEDIATELY STABILIZED WITH TESC MEASURES PER THE APPROVED SWPPP OR AS DIRECTED BY SNOHOMISH COUNTY INSPECTOR/DOE INSPECTOR.
13. THE TESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
14. CATCH BASINS IN THE STREET SHALL BE INSPECTED BY THE CONTRACTOR DAILY. WATER LEAVING THE SITE DURING CONSTRUCTION, INCLUDING WATER CARRIED BY TRUCKS, SHALL BE CLEAN. THE CONTRACTOR SHALL CLEAN CITY CATCH BASINS AND IMPLEMENT EXTRA SEDIMENTATION CONTROL MEASURES IF NECESSARY AND AS DIRECTED BY THE SNOHOMISH COUNTY INSPECTOR AT NO ADDITIONAL EXPENSE TO OWNER.
15. THE TESC FACILITIES SHALL BE MAINTAINED UNTIL PERMANENT EROSION CONTROL (PAVING, STRUCTURE, REVEGETATION WITH TREES, SHRUBS, GROUND COVER, ETC.) PER THE APPROVED PLANS IS IN PLACE.
16. DESIGN, PREPARE AND OBTAIN PERMITS FOR TEMPORARY DEWATERING. TREAT AND DISPOSE OF WATER FROM TEMPORARY DEWATERING IN ACCORDANCE WITH SNOHOMISH COUNTY AND DOE REQUIREMENTS.
17. PROTECT STOCKPILES FROM WET WEATHER AND CONTAMINATION FROM OTHER SOURCES. PROVIDE DUST CONTROL MEASURES AND STOCKPILE PROTECTION IN ACCORDANCE WITH SNOHOMISH COUNTY APPROVED SWPPP. STOCKPILES THAT BECOME UNSUITABLE DUE TO LACK OF PROTECTION MEASURES SHALL BE PROPERLY DISPOSED OF AND REPLACED AT CONTRACTOR'S EXPENSE.
18. COORDINATE LOCATION OF SEDIMENT PONDS, TRAPS, PORTABLE FILTRATION TREATMENT SYSTEMS, INTERCEPTOR SWALES, AND OTHER TESC MEASURES WITH IMPROVEMENTS AND CONTRACTOR'S OPERATIONS AND SEQUENCING. COORDINATE OUTLET DRAINS FROM SEDIMENT PONDS AND PORTABLE FILTRATION TREATMENT SYSTEMS WITH EXISTING AND NEW IMPROVEMENTS.
19. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS USED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE. SEE SPECIFICATIONS FOR SEED MIX AND RATE OF APPLICATION.
20. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS USED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF TWO INCHES.
21. THE TESC MEASURES SHOWN ON THE PLANS ARE FOR SNOHOMISH COUNTY PERMITTING PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS AND SEQUENCING OF TESC MEASURES AND ENSURING WATER QUALITY REQUIREMENTS ARE MET.

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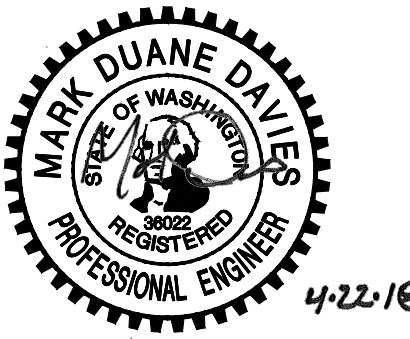
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R/W Permit No.



REV.	ISSUE	DATE
1	CORRECTION	04.18.2017
2	CORRECTION	04.24.2018

Sheet Information	
Date	04/28/2018
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TESC NOTES

Sheet

C-101

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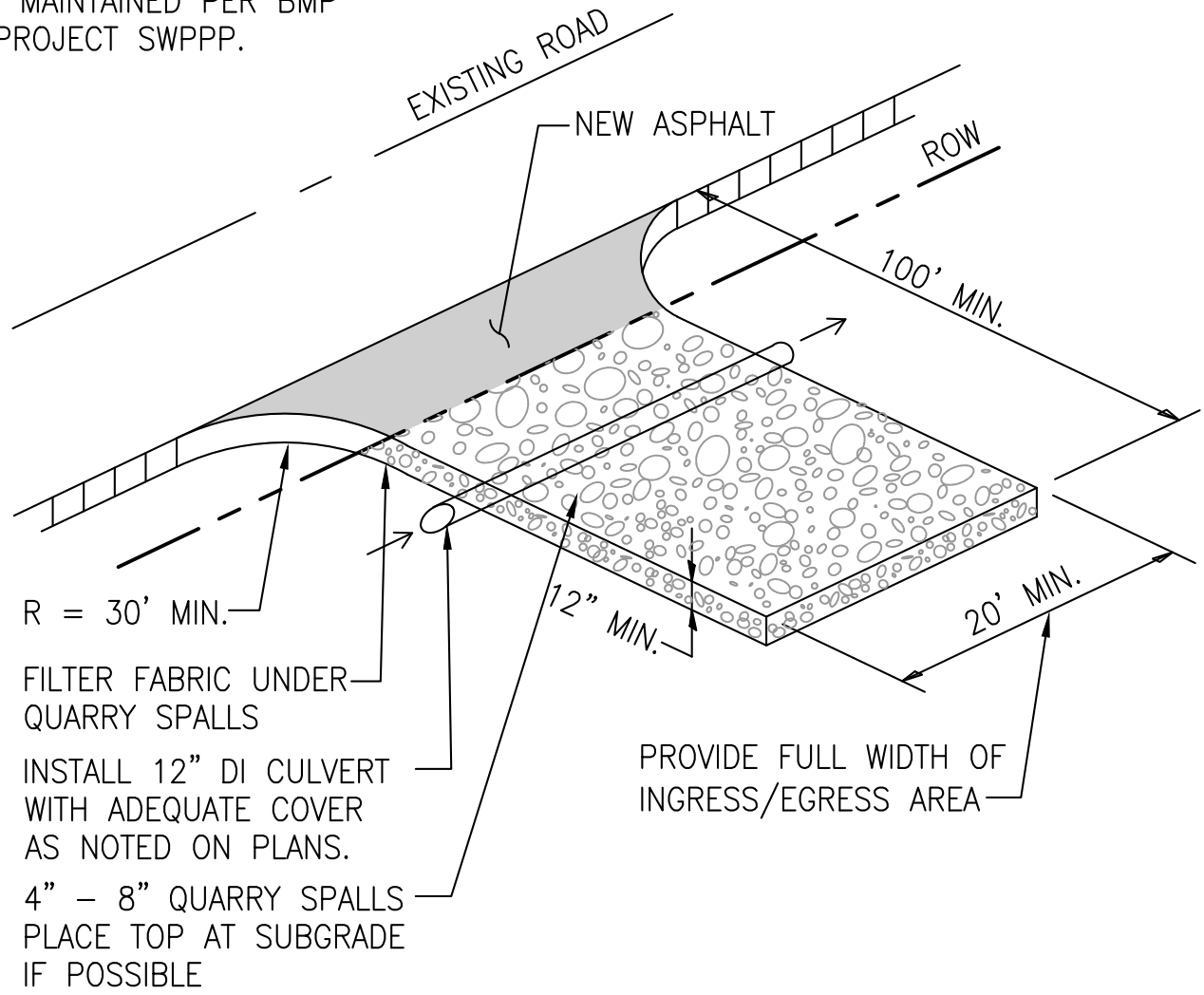
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SECTION 35, T 27 N, R 3E, W.M.

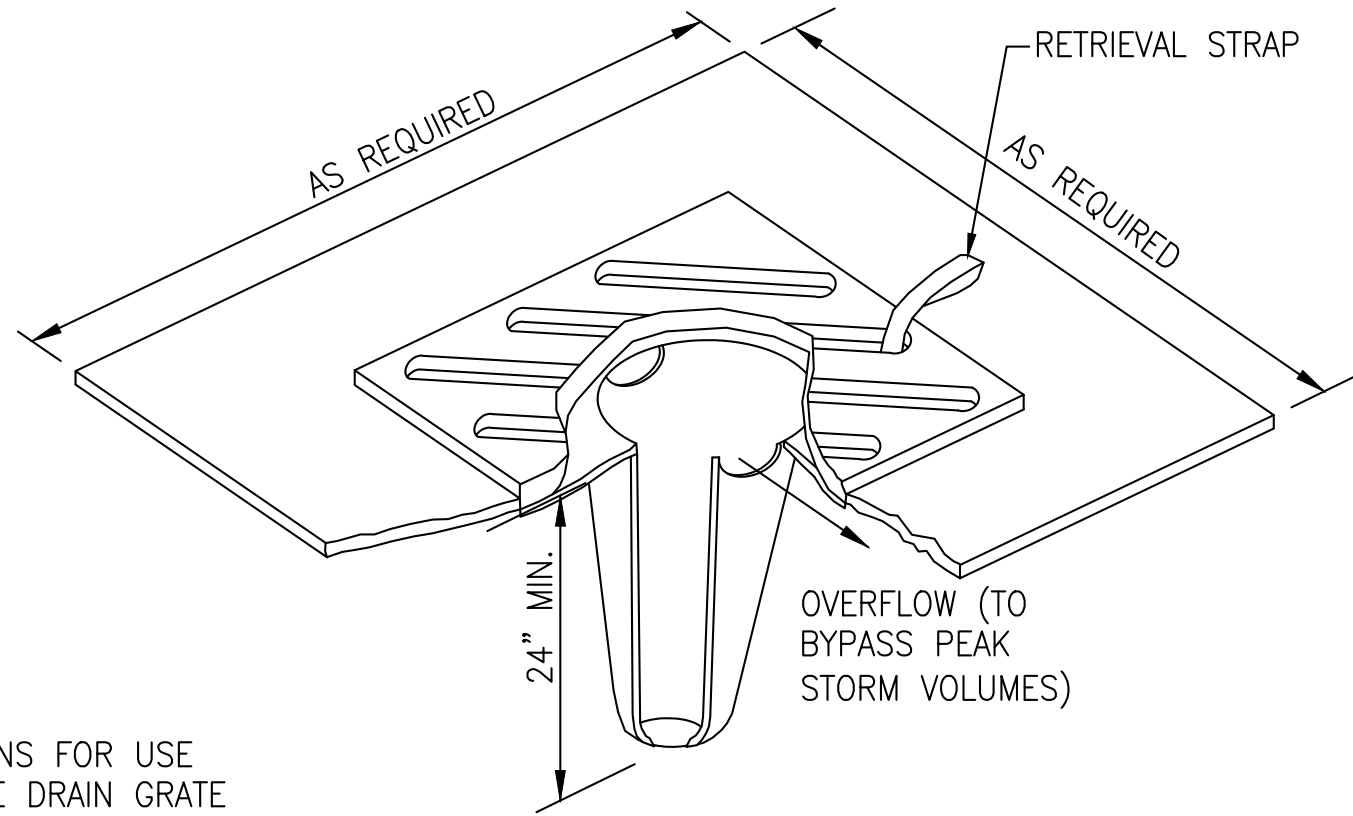
NOTES:

1. CONSTRUCT NEW ASPHALT DRIVEWAY PER SNOHOMISH COUNTY ROAD STANDARDS PRIOR TO INSTALLATION OF QUARRY SPALL PAD TO AVOID DAMAGING ROADWAY.
2. QUARRY SPALL PAD SHALL BE CROWNED SO THAT RUN-OFF DRAINS OFF THE PAD AND INTO TESC TREATMENT SYSTEM.
3. STABILIZED CONSTRUCTION ENTRANCE SHALL CONFORM TO AND BE MAINTAINED PER BMP C105 AND PER THE PROJECT SWPPP.



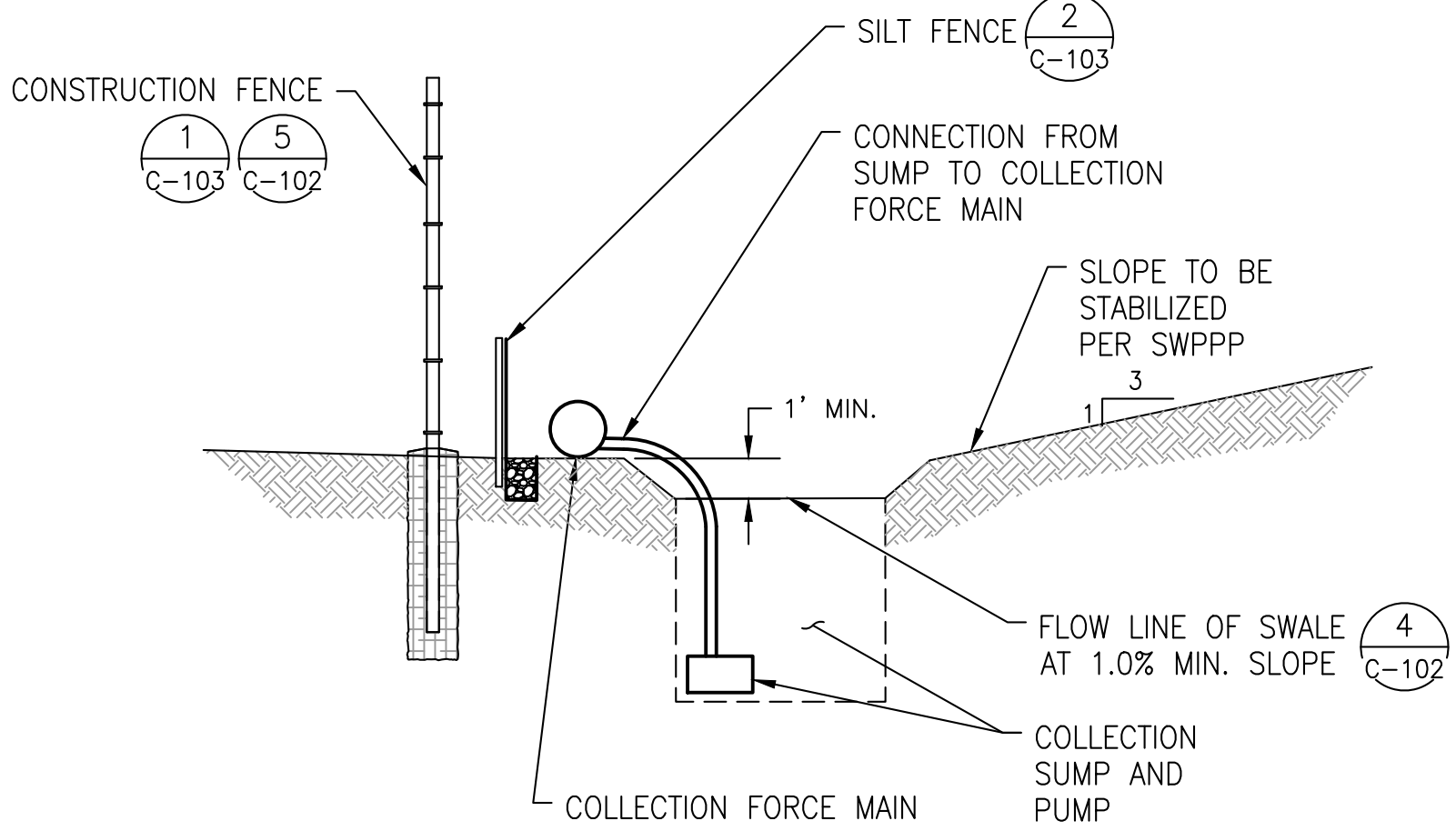
NOTES:

1. DIRECTIONS FOR USE
 - REMOVE DRAIN GRATE
 - INSERT FILTER
 - REPLACE GRATE TO HOLD FILTER IN POSITION
2. FILTER SPECIFICATIONS
 - MINIMUM 24" DEEP
 - CONSTRUCTED OF POLYPROPYLENE
 - ALL SEAMS DOUBLE-STITCHED
 - WATER FLOW RATE - 100 GALLONS PER MINUTE PER SQUARE FOOT
 - REUSABLE OR THROW-AWAY
3. MAINTENANCE
 - REMOVE FILTER WHEN FILLED TO HALF-WAY MARK (USE FRONT LOADER OR OTHER EQUIPMENT FOR REMOVAL)
 - CLEAN AND RE-USE, OR REPLACE
4. STORM DRAIN/INLET PROTECTION SHALL CONFORM TO BMP C220.
5. MAINTENANCE OF BMP SHALL BE PER THE PROJECT SWPPP.



Storm Drain/Inlet Protection

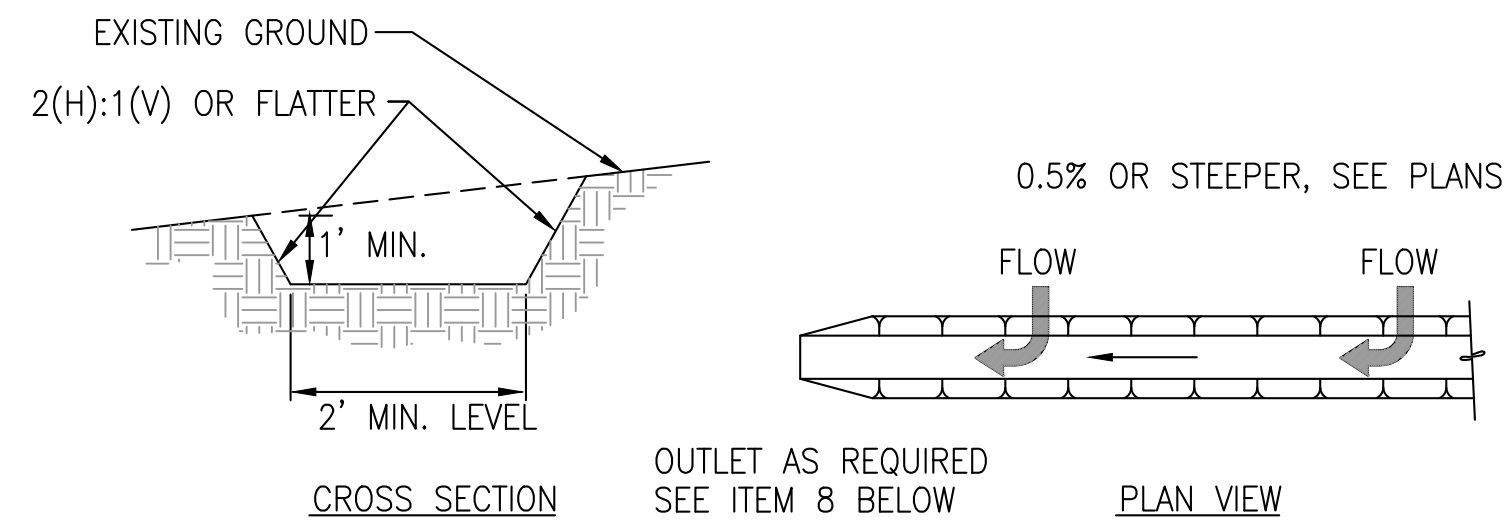
Stabilized Construction Exit



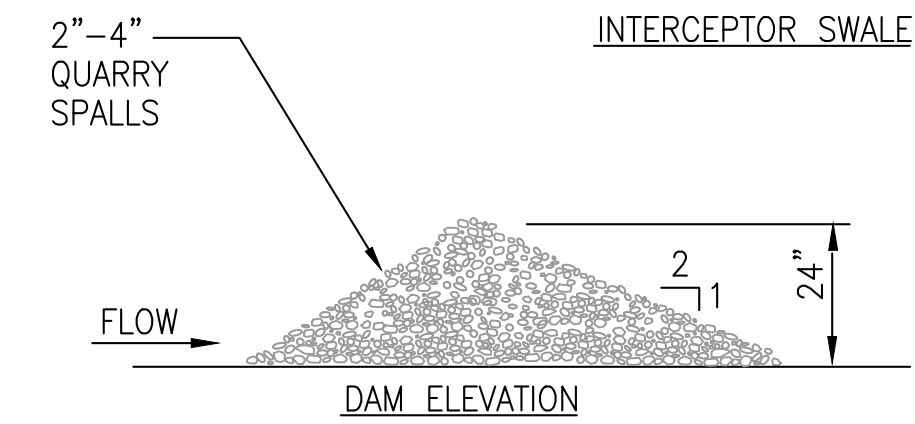
NOTES:

1. MAINTENANCE OF BMP SHALL BE PER THE PROJECT SWPPP.

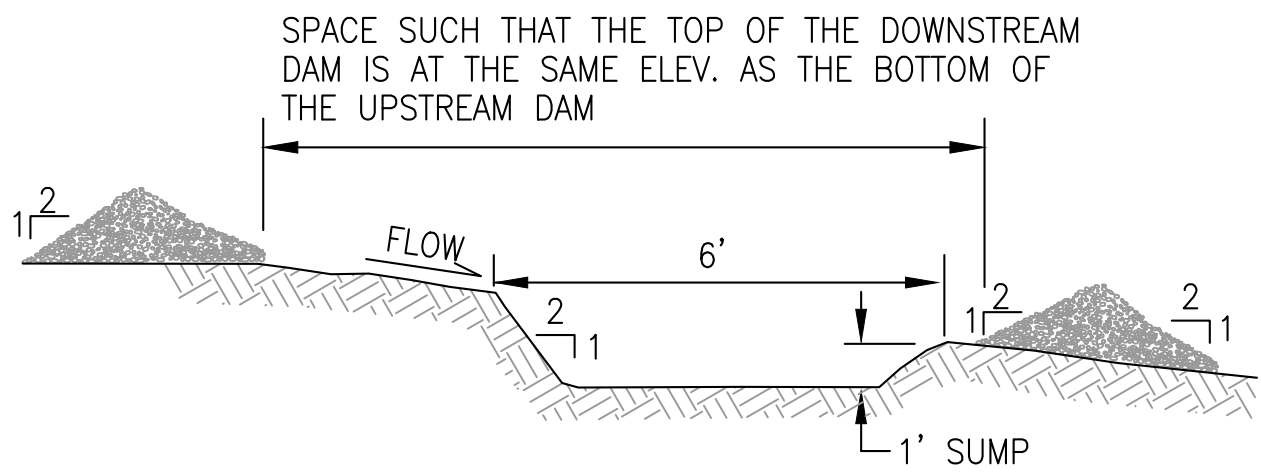
Collection Sump



INTERCEPTOR SWALE



DAM ELEVATION



UPSTREAM SUMP

ROCK CHECK DAM

SWALE NOTES:

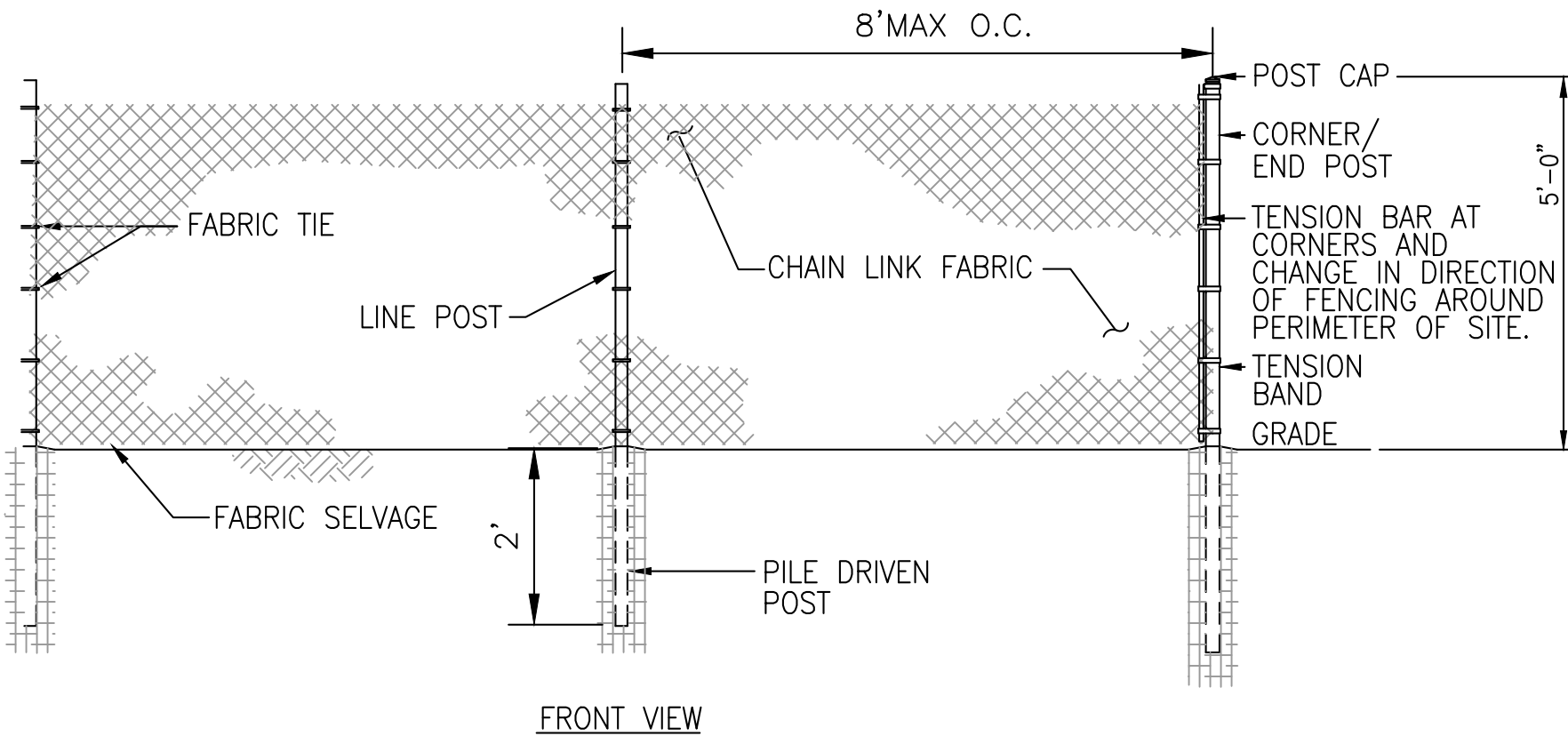
1. ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE.
2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH MAY IMPEDE NORMAL FLOW.
6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
8. STABILIZATION SHALL BE PER THE FOLLOWING CHART:

REQUIRED FLOW CHANNEL STABILIZATION		
TYPE OF TREATMENT	CHANNEL GRADE	A (5 AC OR LESS)
1.	0.5-3.0%	SEED AND STRAW MULCH
2.	3.1-5.0%	SEED AND STRAW MULCH

CHECK DAM NOTES:

1. CHECK DAMS SHALL BE CONSTRUCTED OF ROCK AND SHALL BE PROVIDED WITH A 1' DEEP SUMP IMMEDIATELY UPSTREAM.
2. THE SPACING BETWEEN THE ROCK DAMS SHALL BE PER THE PLANS, ADJUSTED IN THE FIELD TO MEET THE REQUIREMENTS OF THIS DETAIL.
3. ROCK CHECK DAMS SHALL BE CONSTRUCTED OF QUARRY SPALLS, 4" MINUS. THE ROCK MUST BE PLACED BY HAND OR MECHANICAL PLACEMENT (NO DUMPING OF ROCK TO FORM DAM) TO ACHIEVE COMPLETE COVERAGE OF THE DITCH OR SWALE AND TO ENSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES.
4. MAINTENANCE OF BMP SHALL BE PER THE PROJECT SWPPP.
5. CHECK DAM SHALL CONFORM TO BMP C200 AND BMP C207.

Interceptor Swale with Rock Check Dam



Construction Fence With Pile Driven Posts

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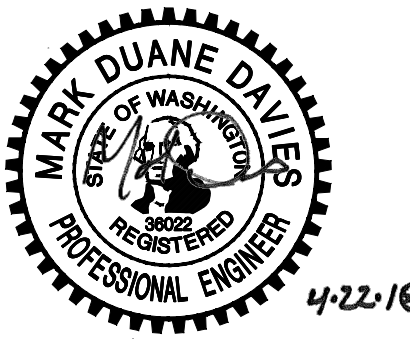
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Sheet Information

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TESC Details

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C-102

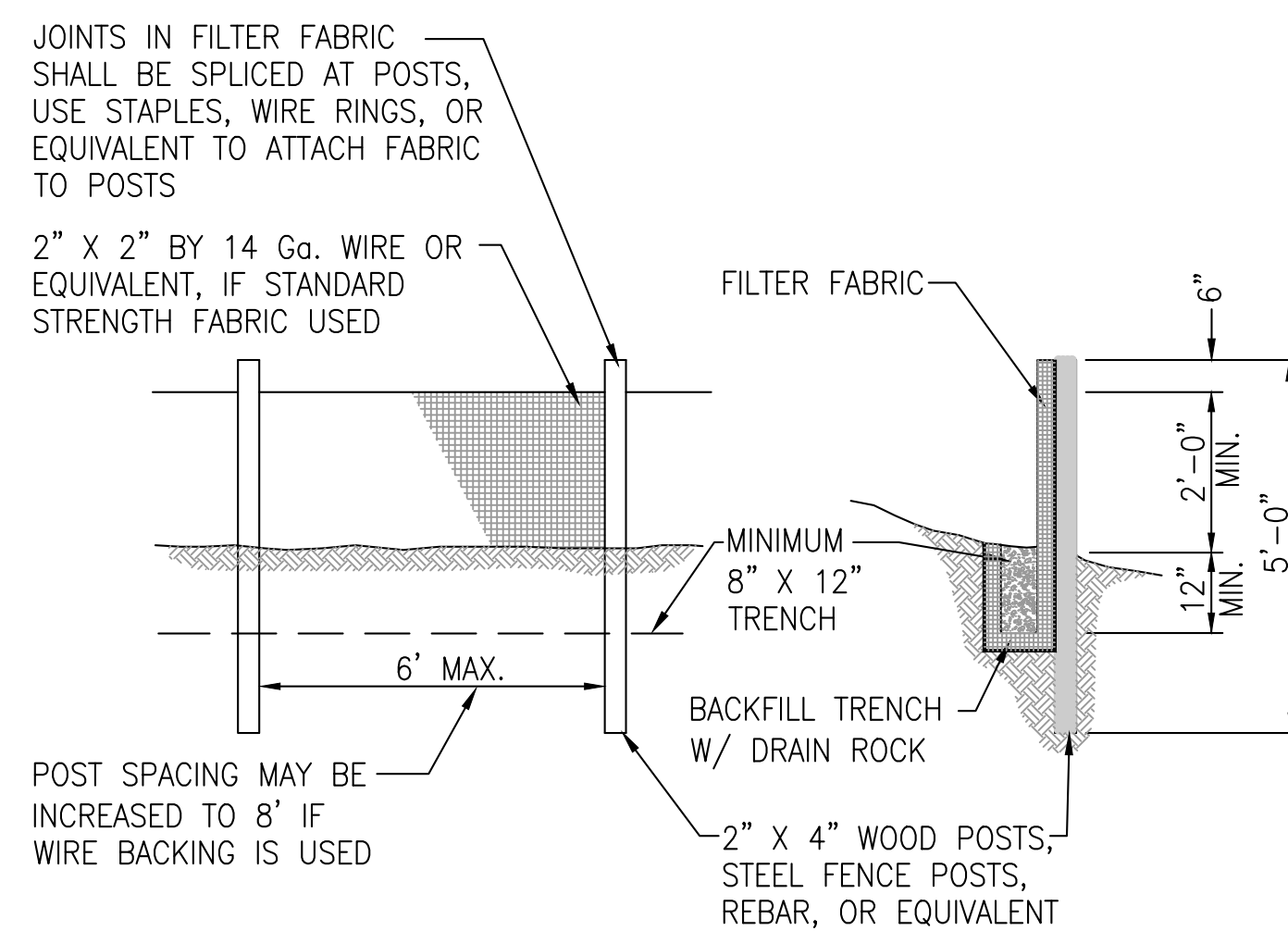
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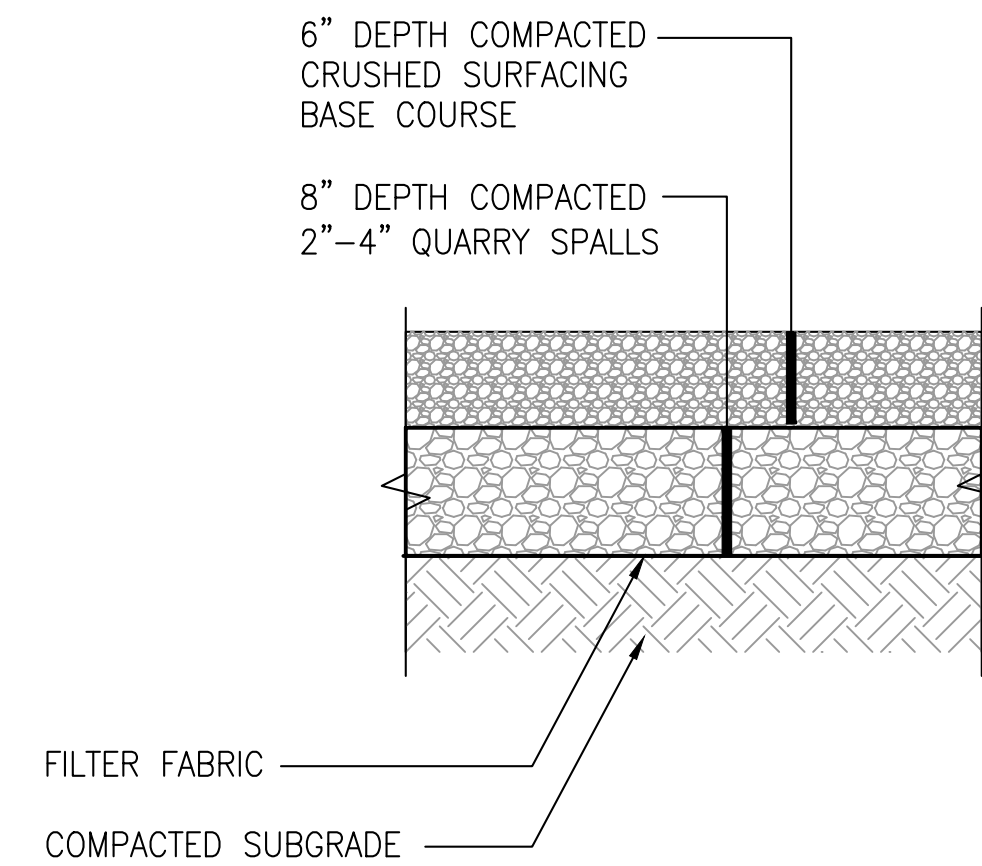
NTS

Construction Fence with Posts on Concrete Piers



NOTES:

1. FILTER FABRIC FENCES SHALL BE INSTALLED ALONG SAME CONTOUR WHENEVER POSSIBLE.
2. SILT FENCE SHALL CONFORM TO BMP C233.

Haul Road^{NTS} 3

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NTS
NOT USED 4

NOT USED^{NTS} 5

NOT USED^{NTS} 6

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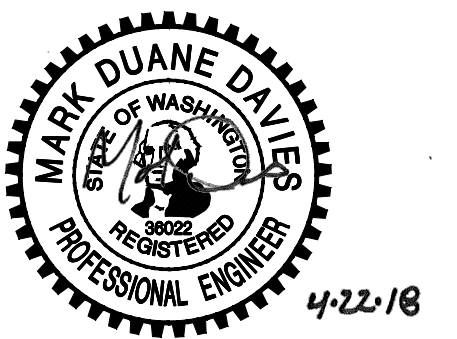
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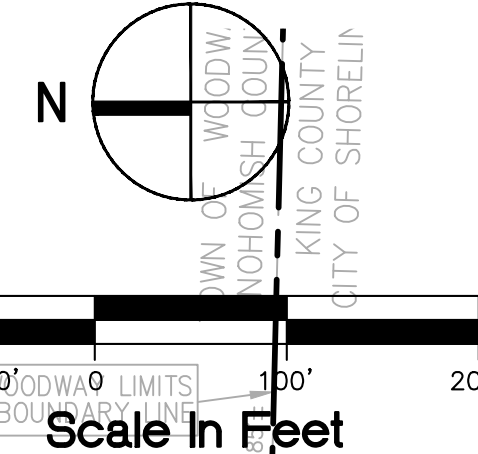
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2'
1"
1/2"
0'

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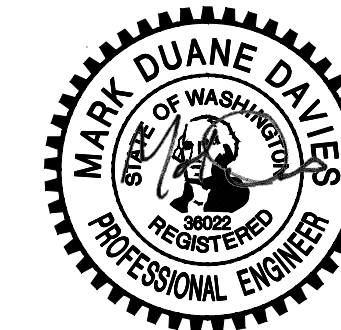
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UTILITY PLAN

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LEGEND

- PROPERTY LINE
- W— WATER LINE
- SS— SANITARY SEWER GRAVITY LINE
- SSFM— SANITARY SEWER FORCE MAIN
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER PUMP STATION
- ⋈ FIRE HYDRANT
- ▬ VEHICULAR PAVEMENT

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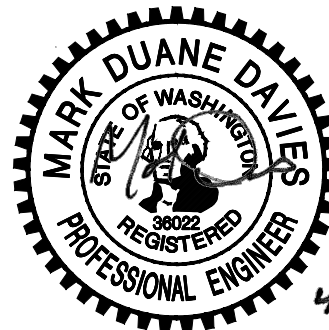
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GRADING AND
DRAINAGE PLAN

Sheet

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LEGEND

---	PROPERTY LINE
30	PROPOSED CONTOURS
25	PROPOSED CONTOURS
XX.X	SPOT ELEVATION
X.X%	SLOPE ARROW
SD	STORM DRAIN LINE
⊙	STORM DRAIN MAINTENANCE HOLE
▬	WATER QUALITY FACILITY
■	CATCH BASIN
▬	RETAINING WALL
BW	BOTTOM OF WALL
TW	TOP OF WALL

EARTHWORK SUMMARY

- ESTIMATED EARTHWORK QUANTITIES FOR ENVIRONMENTAL REMEDIATION:
CUT 460,000 CY
- ESTIMATED EARTHWORK QUANTITIES FOR FINISHED GRADES:
CUT 3,000 CY
FILL 385,000 CY

EARTHWORK NOTES

- COMPACTION AND EXPANSION FACTORS FOR CUT AND FILL ARE 1.0
- ENVIRONMENTAL REMEDIATION CUT DEPTH ARE BASED ON CONSERVATIVE SCENARIO OUTLINED IN HART CROWSER MEMORANDUM "POINT WELLS URBAN CENTER, ENVIRONMENTAL REMEDIATION APPROACH" DATED APRIL 17, 2018
- QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY

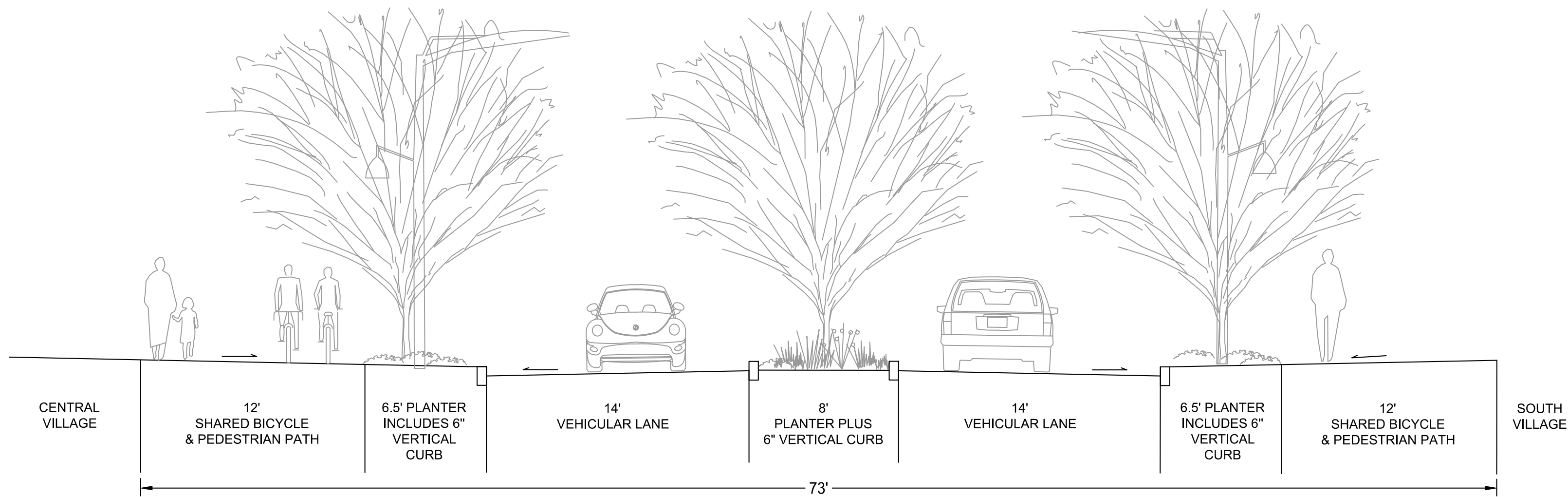
WATER QUALITY FACILITY	DIMENSIONS	IMPERVIOUS AREA (AC)	PERVIOUS AREA (AC)	TOTAL AREA (AC)
FILTERRA VAULT-300-1	6X12	0.64	0.16	0.8
FILTERRA BIOSCAPE PLANTER-301-1	260 SF	2.01	0.32	2.33
FILTERRA VAULT-302-1	6X10	0.43	0.09	0.52
FILTERRA BIOSCAPE PLANTER-302-6	160 SF	1.09	0.38	1.47
FILTERRA VAULT-304	4X6	0.29	0.07	0.36

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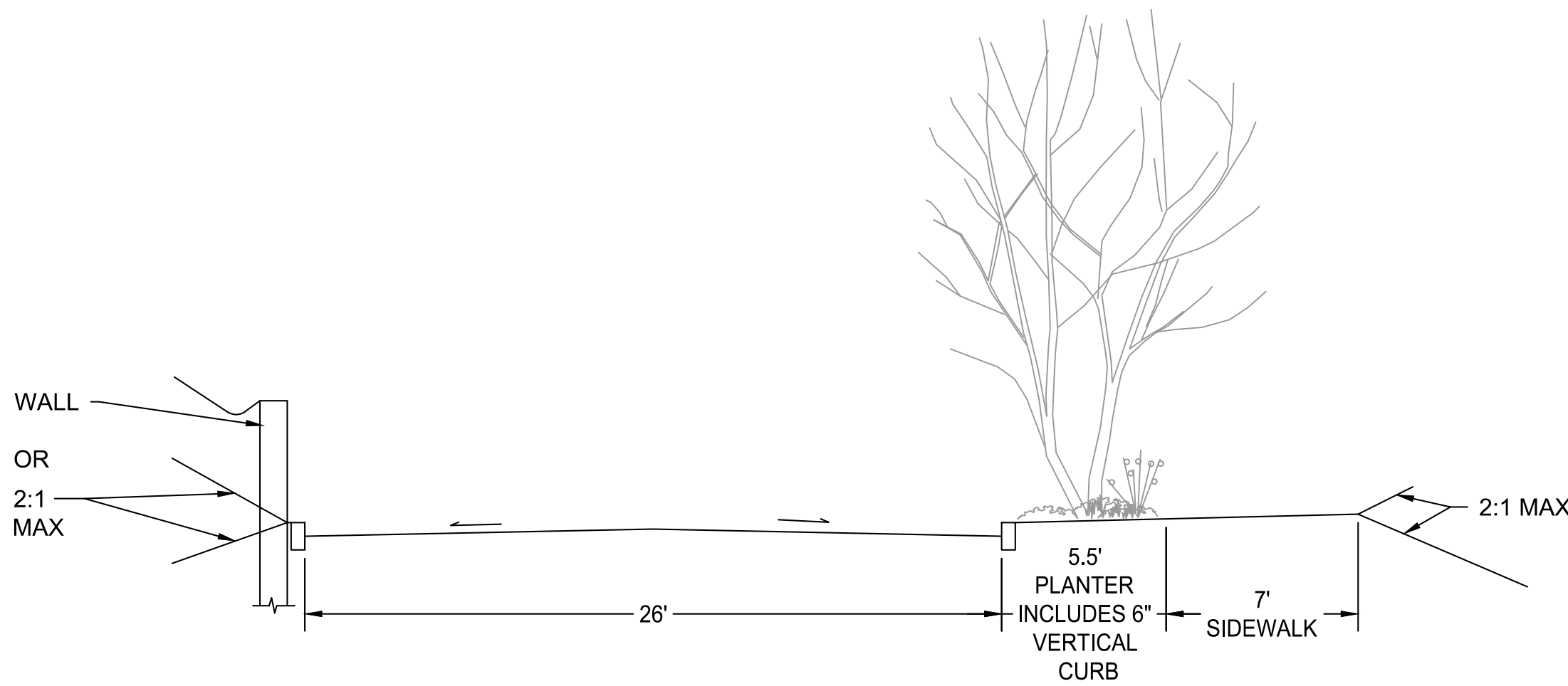


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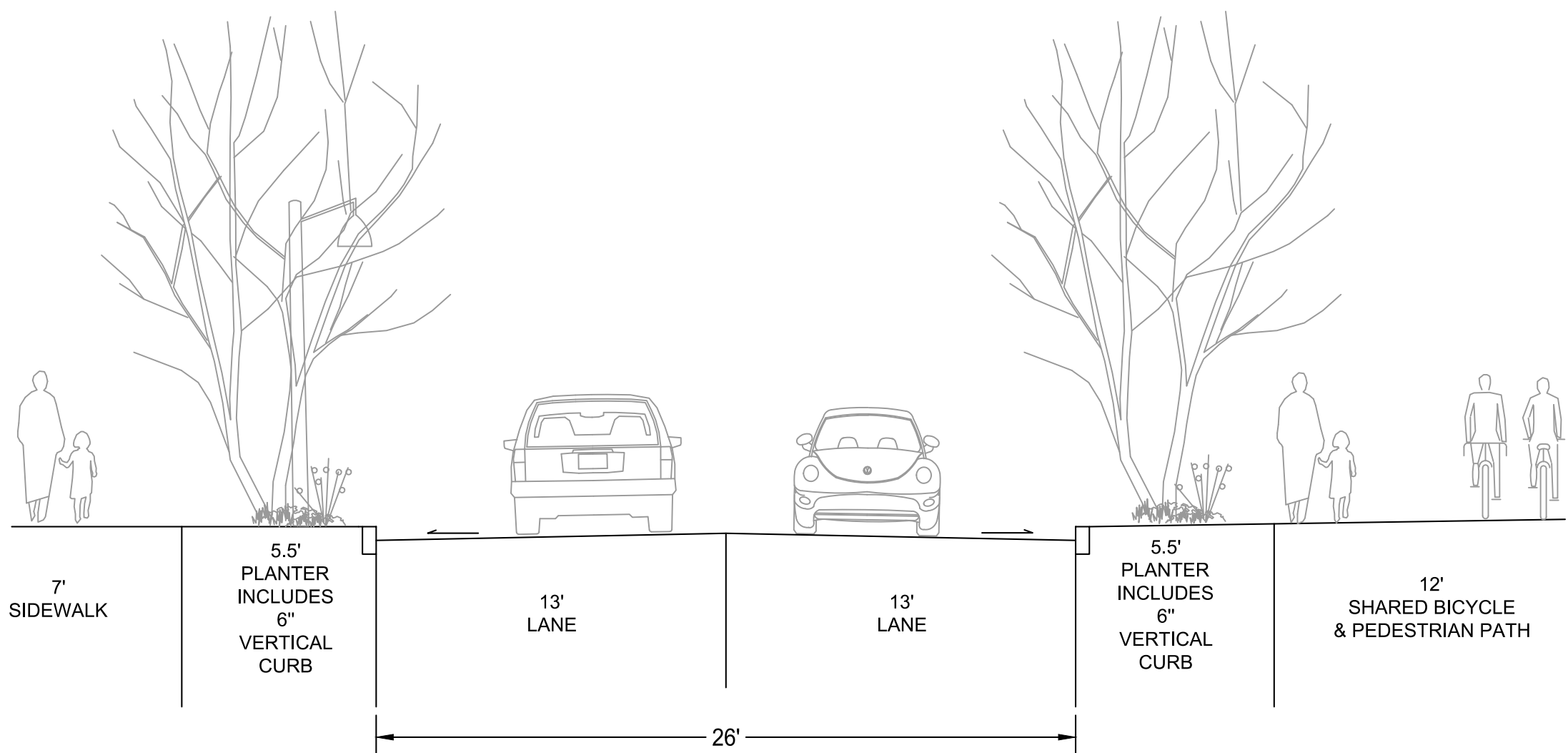
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Main Entrance Section

1



NTS
Second Access Road Section

2



NTS
North Access and South Access Sections

3

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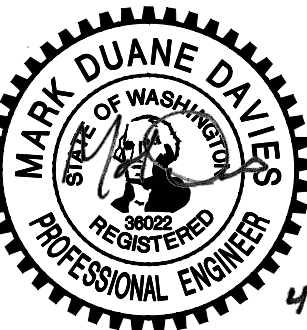
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**TYPICAL
ROAD SECTIONS**

Sheet

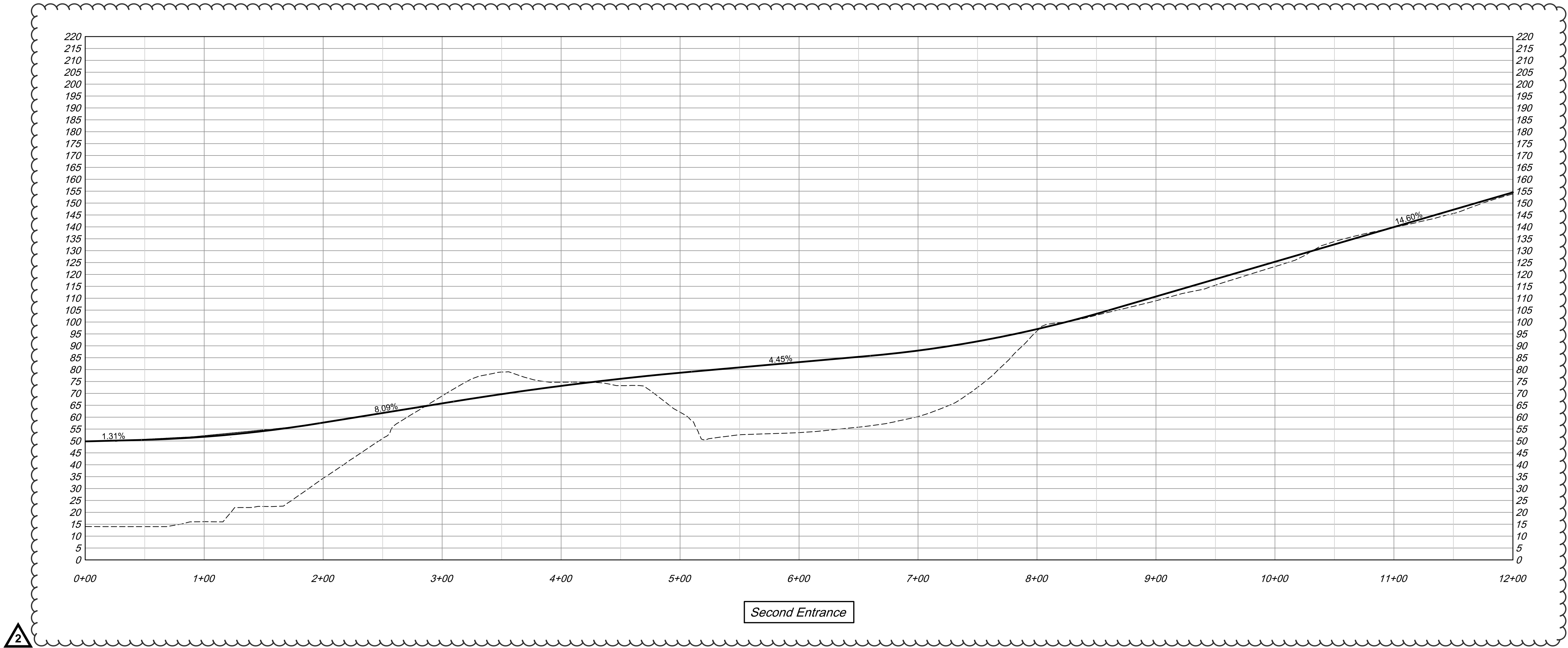
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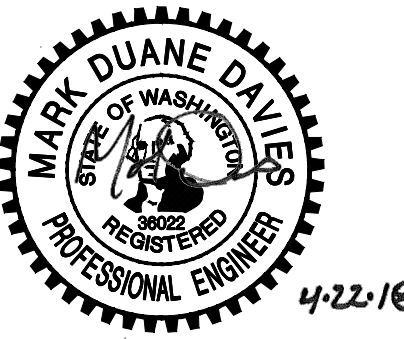
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R/W Permit No.



REV.	ISSUE	DATE
1	CORRECTION	04.18.2017
2	CORRECTION	04.24.2018

Sheet Information

Date	04/28/2018
Job Number	169009.000
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Roadway Profile

Sheet

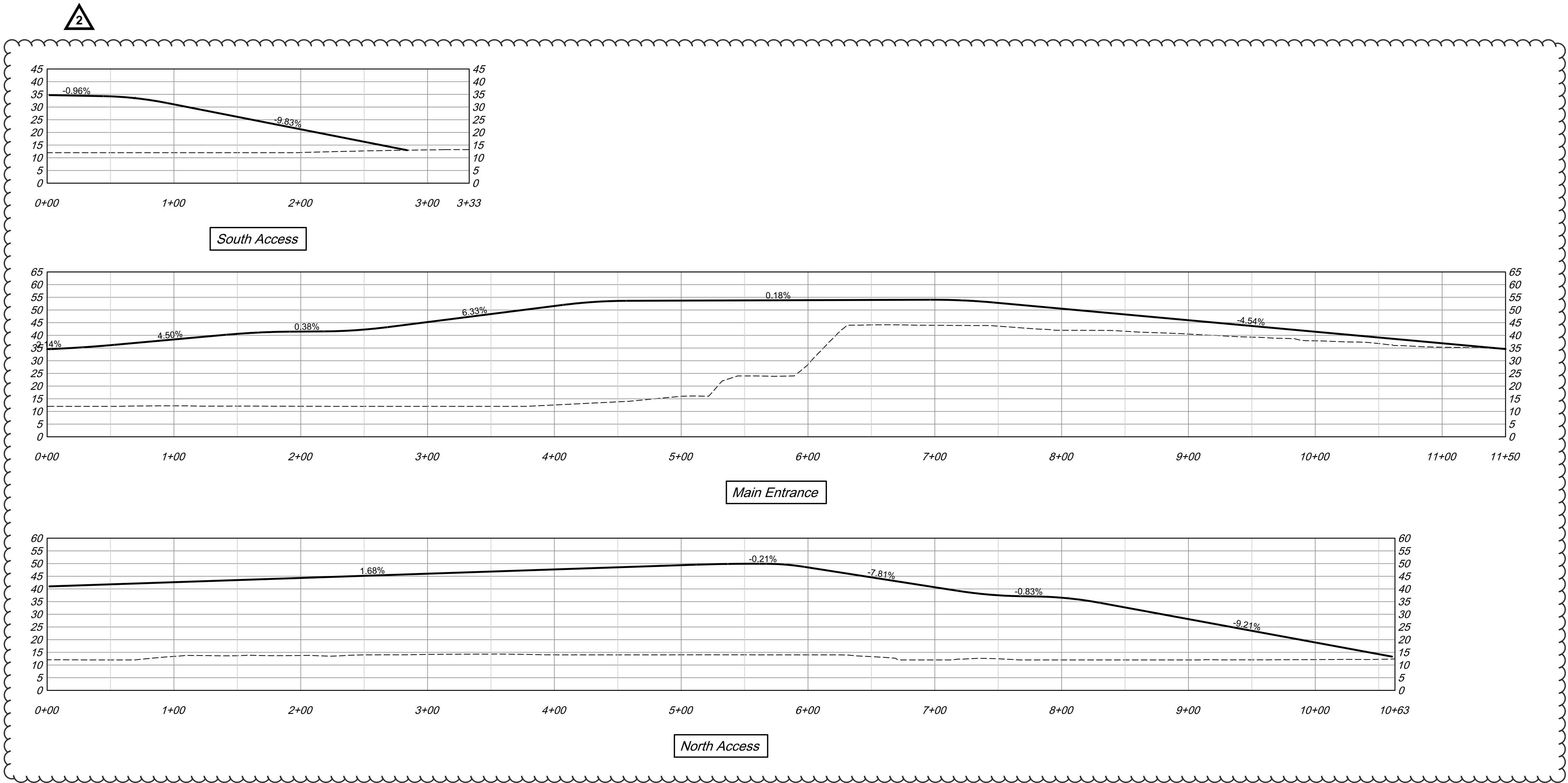
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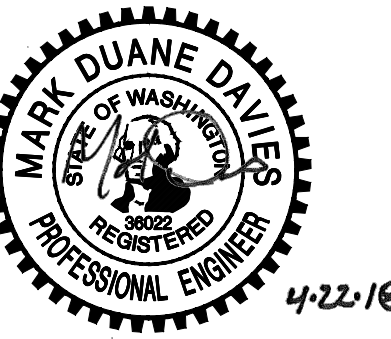
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